

City of Syracuse
Office of Zoning Administration

VARIANCE APPLICATION

City Hall Commons - Room 500 * 201 E. Washington Street * Syracuse, NY 13202-1426
315-448-8640 * zoning@syr.gov * www.syr.gov.net/Zoning.aspx

Office Use Filing Date: 8/18/2020 Case: V-20-10 Zoning District: RA-1 (1974) - RB

VARIANCE REQUESTED (Check applicable and briefly describe.)

- Area Variance:** Residential C1, A1 Part B, Section 1 Article 1, Paragraphs 4.B(1) and 5.A
Cited Zoning Ordinance
Part(s), Sec(s), Art(s):
- Use Variance:**
Cite Zoning Ordinance
Part(s), Sec(s), Art(s):

<u>TAX ASSESSMENT ADDRESS(ES)</u>	<u>TAX MAP ID(S)</u> (000.-00-00.0)	<u>OWNER(S)</u>	<u>DATE ACQUIRED</u>
1) 102 Charlotte Street Syracuse	112.-13-32.0	William Coon	4/17/20
2)			
3)			
4)			

As listed in the Syracuse Department of Tax Assessment property tax records at <http://syr.gov.net/Assessment.aspx>, 315-448-8280.

COMPANION ZONING APPLICATION(S) (List any related Zoning applications, if applicable, e.g., Resubdivision, Special Permit, Project Site Review, etc.)

- 1) _____ 2) _____ 3) _____

PROJECT CONSTRUCTION (Check all that apply and briefly describe.)

- Demolition (full and partial):** _____
- New Construction:** _____
- Façade (Exterior) Alterations:** Expand front porch to full house width, add Back deck
- Site Changes:** _____

PROJECT INFORMATION (Briefly describe, as applicable.)

Business/Project Name: 102 Charlotte Renovation
Current Land Use(s): Residence
Proposed Land Use(s): Residence
Number of Dwelling Units: 1
Hours of Operation: NA
Onsite Parking: Yes

PROJECT DESCRIPTION (Provide a brief description of the project, including purpose or need.)

I bought the house that had been vacant for three years, I am renovating it as my home. it is a small bungalow home looking to make it a Craftsman style bungalow. home was in serious disrepair and had four large holes in the roof. trying to make it a beautiful low maintenance home. the front porch is not very usable in current size, just trying to expand it to full width of the house. Back deck is adding a means of egress and outdoor space to the Bedroom that will be the second fl

USE VARIANCE TEST (see [https://www.dos.ny.gov/lg/publications/Zoning Board of Appeals.pdf](https://www.dos.ny.gov/lg/publications/Zoning_Board_of_Appeals.pdf))

A Use Variance is permission to establish a land use which is not allowed by the Zoning Rules and Regulations, as amended. New York State law requires applicants to prove that this has caused an unnecessary hardship using all of the four tests below. *Briefly describe below how each of the required Use Variance tests is met and attach all supporting materials.*

1. Describe how the property is incapable of earning a **reasonable return** on initial investment if used for any of the allowed uses in the district (actual "dollars and cents" proof must be submitted):

2. Describe how the property is being affected by **unique circumstances**, or at least highly uncommon circumstances:

3. Describe how the variance, if granted, will not alter the essential **neighborhood character**:

4. Describe how the hardship is not **self-created**:

AREA VARIANCE TEST (see https://www.dos.ny.gov/lg/publications/Zoning_Board_of_Appeals.pdf)

An Area Variance is permission to build in a portion of the property that is otherwise restricted by the Zoning Rules and Regulations, as amended. New York State law requires applicants to prove that the potential benefit of an Area Variance will outweigh any burden to community health, safety and welfare through a five-part balancing test. *Briefly describe how an Area Variance would affect the community using the following five tests and attach all supporting materials.*

1. Describe whether an undesirable change will be produced in the **character of the neighborhood**, or a detriment to nearby properties will be created by the granting of the area variance:
the Charachter of the neighborhood will be improved by granting the variance. The charachter of the home will be a huge improvment on the run down state its been in for many years.

2. Describe whether the benefit sought by the applicant can be **achieved by some other method** which will be feasible for the applicant to pursue but would not require an area variance:
The Full width front fron porch is a critical part of the character of the Craftsmen style bungalow i am trying to achieve.

3. Describe whether the requested area variance is **substantial**:
The increased coverage area of the proposed home brings it from 31% lot coverage to 33% lot coverage. This is a small fraction of the lot and will only be noticed in the improved appearance of the home. The other variance is side lot offset, the existing home is non conforming being 3.2 feet from the property line, the additional porch roof will not make the house any closer than it already is.

4. Describe whether the proposed area variance will have an **adverse effect or impact** on the physical or environmental conditions in the neighborhood or district:
The house is currently non-conforming and the difficulty was not self created.

5. Describe whether an alleged difficulty is **self-created**.
The house is currently non-conforming and the difficulty was not self created.

City of Syracuse Office of Zoning Administration

PROPERTY OWNER(S) (required)

As listed in the Syracuse Department of Tax Assessment property tax records available at <http://syrgov.net/Assessment.aspx>, or at 315-448-8280. If not listed as the current owner, please provide proof of ownership, e.g., a copy of the deed. Attorney's signing on behalf of the owner must include a one page letter describing the legal representative arrangement. If the property owner is a Corporation or Organization, the person signing must provide verification they are a member. Contract purchasers, tenants, architects, engineers, contractors, etc. CANNOT sign on behalf of the owner.

First Name	Last Name	Title	Company		Phone:
William F	Coon Jr	Owner			315-753-1894
Street Address	Apt / Suite / Other	City	St	Zip	Email:
					wfcoon@gmail.com
* Signature: <i>William F Coon Jr</i>				Date: 08/03/2020	

First Name	Last Name	Title	Company		Phone:
Street Address	Apt / Suite / Other	City	St	Zip	Email:
* Signature:				Date:	

First Name	Last Name	Title	Company		Phone:
Street Address	Apt / Suite / Other	City	St	Zip	Email:
* Signature:				Date:	

First Name	Last Name	Title	Company		Phone:
Street Address	Apt / Suite / Other	City	St	Zip	Email:
* Signature:				Date:	

*** OWNER SIGNATURE DECLARATION**

I understand that false statements made herein are punishable as a Class A Misdemeanor, pursuant to section 210.45 of the Penal Law of the State of New York. I declare that, subject to the penalties of perjury, any statements made on this application and any attachments are the truth and to the best of my knowledge correct. I also understand that any false statements and/or attachments presented knowingly in connection with this application will be considered null and void.

APPLICANT(S) (if applicable)

First Name	Last Name	Title	Company		Phone:
William	Coon	Owner			315-753-1894
Street Address	Apt / Suite / Other	City	St	Zip	Email:
102 Charlotte Street		Syracuse		NY 13204	wfcoon@gmail.com
First Name	Last Name	Title	Company		Phone:
Street Address	Apt / Suite / Other	City	St	Zip	Email:

REPRESENTATIVE(S)/CONTACT(S) (if applicable)

First Name	Last Name	Title	Company		Phone:
Street Address	Apt / Suite / Other	City	St	Zip	Email:
First Name	Last Name	Title	Company		Phone:
Street Address	Apt / Suite / Other	City	St	Zip	Email:

DIVISION OF CODE ENFORCEMENT
201 E. WASHINGTON STREET — ROOM 101
SYRACUSE, NEW YORK 13202-1430

DENIAL OF PERMIT

REFERENCE ADDRESS 102 Charlotte Street

WARD NO. _____

OWNER GSPDC

OWNER'S ADDRESS 431 E Fayette St Syracuse NY

TELEPHONE _____

APPLICATION FOR PERMIT TO:

erect (X) convert () maintain () operate ()

DENIED UNDER ARTICLE (s) _____

_____ of the zoning ordinance for the following reasons: _____

- PLANS ATTACHED, APPROVED BY _____ LOCATION OF REFERENCE ADDRESS:
ON _____ ASSESSOR'S ATLAS
- SURVEY ATTACHED BOOK (S) NO. _____
- ZONING REVIEWED BY _____ PLATE (S) NO. _____
- PARCEL (S) NO. _____

DATE 8/6/20 SIGNATURE *Am Christ*

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

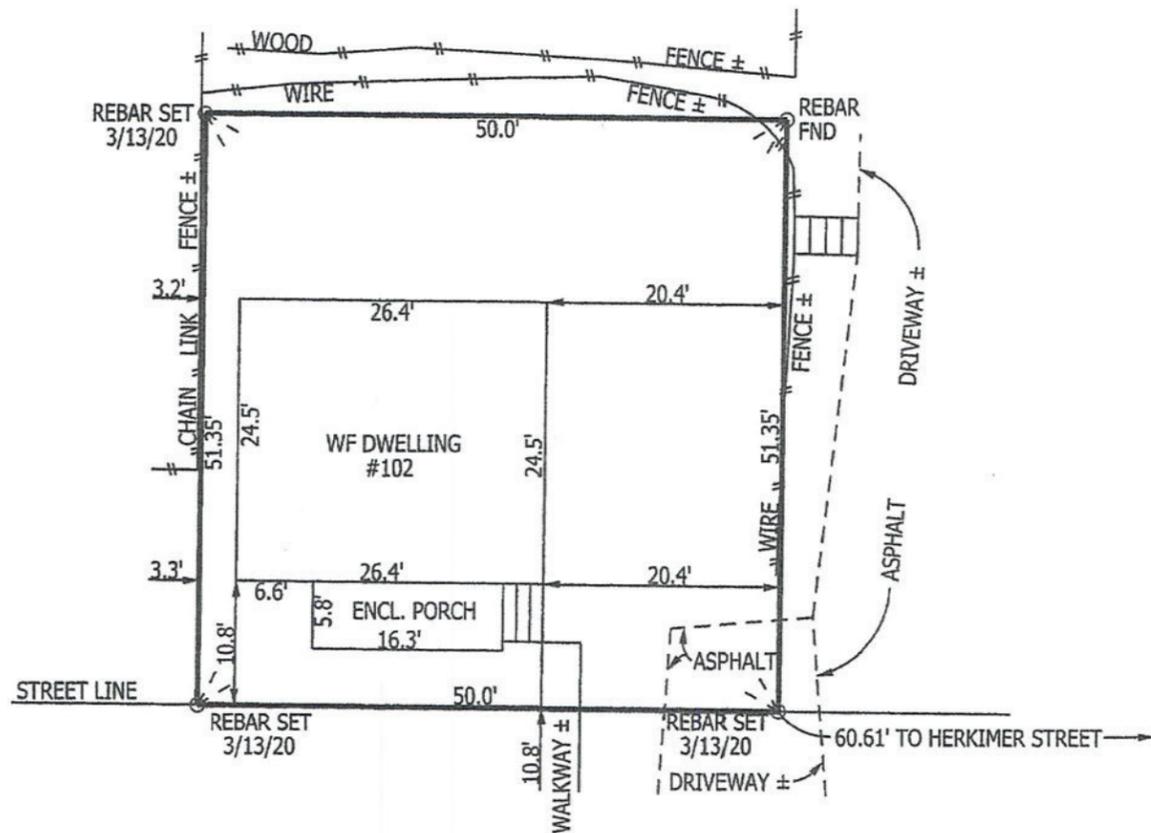
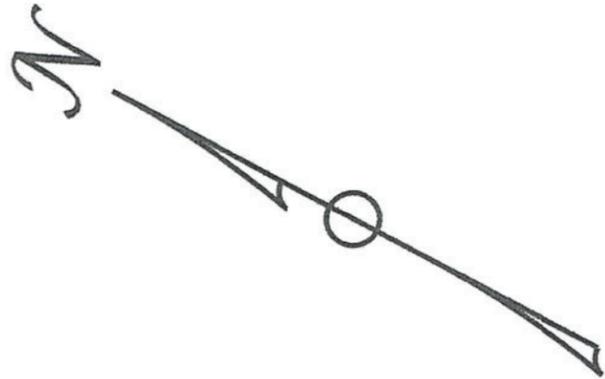
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: William Coon Residence			
Project Location (describe, and attach a location map): 102 Charlotte Street, Syracuse NY 13204			
Brief Description of Proposed Action: Home remodel to include expanding front porch to width of house and adding small back deck			
Name of Applicant or Sponsor: William Coon		Telephone: 315-753-1894	
		E-Mail: wfcoon@gmail.com	
Address: 102 Charlotte Street			
City/PO: Syracuse		State: NY	Zip Code: 13204
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: City Of Syracuse Zoning and Code enforcement			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ .06 acres			
b. Total acreage to be physically disturbed? _____ .01 acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ .06 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

NO ABSTRACT PROVIDED AT TIME OF SURVEY.
 SUBJECT TO EASEMENTS, ROWS, RESTRICTIONS
 & EXCEPTIONS OF RECORD WHICH AN UPDATED
 ABSTRACT WOULD SHOW.



CHARLOTTE STREET

CERTIFIED TO

LOCATION SURVEY FOR: 102 CHARLOTTE STREET

PART OF SUBDIVISION NO. 2 OF LOT NO. 1, BLOCK NO. 13 OF FORMER VILLAGE OF GEDDES
 PART OF FARM LOT NO. 143

CITY OF SYRACUSE

COUNTY OF ONONDAGA

STATE OF NEW YORK

PROPERTY CORNERS NOT SET IN THIS SURVEY UNLESS SHOWN.
 OFFSETS FROM PROPERTY LINES MEASURED TO FOUNDATION WALLS UNLESS OTHERWISE
 INDICATED.
 THE UNDERSIGNED HEREBY CERTIFIES THAT THIS IS A CORRECT MAP MADE FROM AN ACTUAL
 SURVEY.



DUSSING LAND SURVEYING, LLC

JAMES M. DUSSING SR. LIC. NO. 050692

SYRACUSE, NEW YORK

PHONE: 315-256-5372 FAX: 315-492-6892

DATE: 3/13/20

SCALE: 1" = 20'

FILE NO.: 20-202

N.Y.S. LICENSED LAND SURVEYOR NO. 050692

PROJECT DESCRIPTION

ADDRESS: 102 CHARLOTTE STREET; SYRACUSE, NY
 TAX ID: (ID)
 OWNER: WILLIAM COON; (wccoong@gmail.com)
 TENANT:
 DESIGNER OF RECORD: PITCHER ARCHITECT PLLC
 EXISTING BUILDING PERMIT: NONE

NUMBER OF STORIES: 2 ABOVE GRADE, NONE BELOW GRADE
 BUILDING HEIGHT ABOVE GRADE: (N) FEET

NYS VARIANCES, 19 NYCRR 1205
 NOT SUBJECT TO VARIANCE PREVIOUSLY ISSUED, PAST WORK
 FOR CURRENT WORK ONLY FOR BOTH PAST & CURRENT

PROPOSED CURRENT WORK
 NEW CONSTRUCTION
 BUILDING ADDITION
 RENOVATION EXISTING BUILDING

EXISTING OCCUPANCIES CHANGE TO NEW OCCUPANCIES
 GROUP A-n ASSEMBLY GROUP A-n ASSEMBLY
 GROUP B- BUSINESS GROUP B- BUSINESS
 GROUP M - MERCANTILE GROUP M - MERCANTILE
 GROUP R - RESIDENTIAL GROUP R - RESIDENTIAL

BUILDING GROSS AREA: MATERIALS OF CONSTRUCTION

	HOUSE	GARAGE	
BASEMENT	441 GSF	441 GSF	CONC.FLOOR; CEMENT & WOOD STUD WALLS
1ST FLOOR	441 GSF	239 GSF	WOOD FRAME FLOOR AND WALLS
2ND FLOOR	442 GSF	-0-	WOOD FRAME FLOOR & WALLS
3RD FLOOR	-0-	-0-	(NONE)
ROOF	441 GSF	441 GSF	WOOD RAFTERS

CLASSIFICATION OF CONSTRUCTION: 1 & 2 FAMILY RESIDENTIAL
 ELEVATORS:

NONE CURRENTLY CERTIFIED
 PHASE I RECALL ONLY NOT CURRENT, UPGRADE IN THIS WORK
 PHASE I & II RECALL

STAND PIPES:
 YES, EXISTING, OR NEW TYPE: (WET MANUAL)
 NONE

AUTOMATIC SPRINKLERS
 THROUGH OUT BUILDING AUXILIARY SYSTEM:
 ONLY PARTIAL COVERAGE CHEMICAL, KITCHEN HOOD
 NONE
 ADD NEW SYSTEM

DETECTION AND ALARM SYSTEMS
 EXISTING FIRE SYSTEM EXISTING CARBON-MONOXIDE
 LACKS FIRE SYSTEM LACKS CARBON-MONOXIDE
 ADD MANUAL ALARM ADD SINGLE/MULTI-STATION UNITS
 ADD CENTRAL ALARM PANEL ADD TO CENTRAL ALARM PANEL

STRUCTURAL CONDITIONS
 BUILDING RISK CATEGORY: LOCATED IN FLOOD PLAIN
 SEISMIC DESIGN CATEGORY: C NOT IN FLOOD PLAIN

APPLICABLE CODES

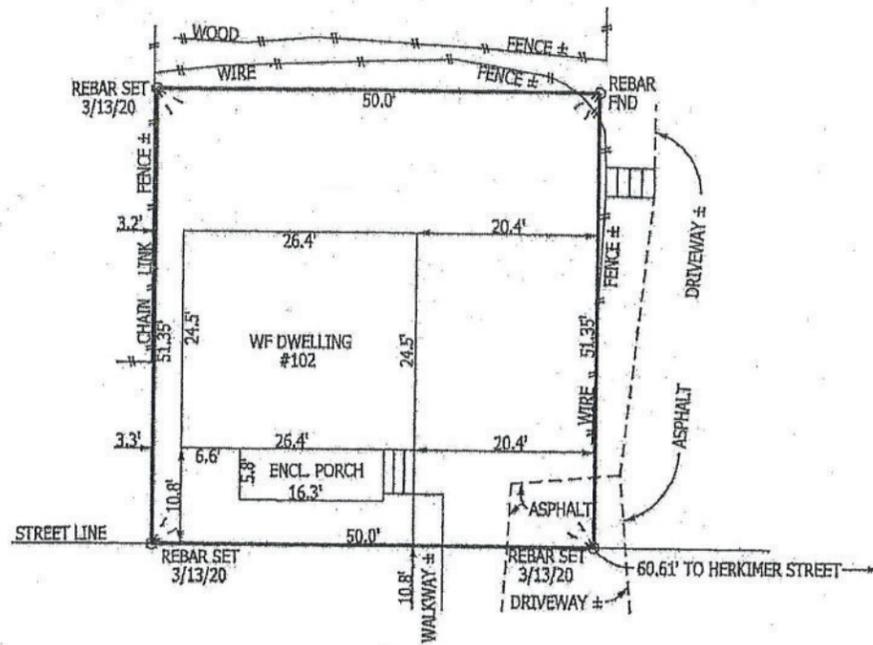
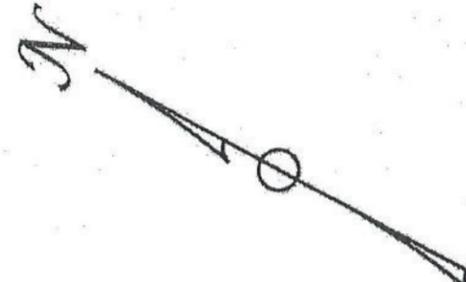
NYS BUILDING CODE 2020
 NYS EXISTING BUILDING CODE 2020
 NYS RESIDENTIAL CODE 2020
 NYS ENERGY CODE 2020
 NYS PLUMBING, ELECTRIC, & MECHANICAL 2020
 SYRACUSE PROPERTY CONSERVATION CODE
 SYRACUSE ZONING CODE
 ONONDAGA COUNTY PLUMBING CODE

APPLICABLE ZONING CONDITIONS

ZONING CLASSIFICATION: RA-1
 EXISTING/PROPOSED CONFORMING USE
 EXISTING NON-CONFORMING USE: ()
 EXISTING SPECIAL PERMIT:
 EXISTING ZONING VARIANCE:



NO ABSTRACT PROVIDED AT TIME OF SURVEY.
 SUBJECT TO EASEMENTS, ROWS, RESTRICTIONS & EXCEPTIONS OF RECORD WHICH AN UPDATED ABSTRACT WOULD SHOW.



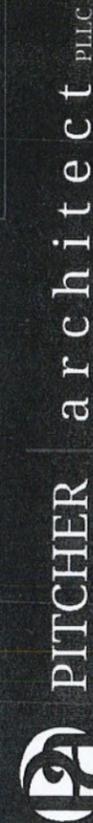
CHARLOTTE STREET

CERTIFIED TO (Signature) N.Y.S. LICENSED LAND SURVEYOR NO. 050692	LOCATION SURVEY FOR: 102 CHARLOTTE STREET PART OF SUBDIVISION NO. 2 OF LOT NO. 1, BLOCK NO. 13 OF FORMER VILLAGE OF GEDDES PART OF FARM LOT NO. 143		
	CITY OF SYRACUSE	COUNTY OF ONONDAGA	STATE OF NEW YORK
PROPERTY CORNERS NOT SET IN THIS SURVEY UNLESS SHOWN. OFFSETS FROM PROPERTY LINES MEASURED TO FOUNDATION WALLS UNLESS OTHERWISE INDICATED. THE UNDERSIGNED HEREBY CERTIFIES THAT THIS IS A CORRECT MAP MADE FROM AN ACTUAL SURVEY. (Signature)	DUSSING LAND SURVEYING, LLC JAMES M. DUSSING SR. LIC. NO. 050692 SYRACUSE, NEW YORK PHONE: 315-256-5372 FAX: 315-492-6892	DATE: 3/13/20 SCALE: 1" = 20' FILE NO.: 20-202	

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A 1.2	1ST & 2ND FLOOR RENOVATIONS

124 Feigel Avenue
 Syracuse, New York 13203



315.474.1219

RENOVATIONS
 WM. COON RESIDENCE
 102 CHARLOTTE STREET
 SYRACUSE, N.Y.



- 1 CUT WALL, ROUGH FRAME FOR FUTURE DOOR TO FUTURE GARAGE. NEW HEADER 2-2X4, IN-FILL OPENING WITH STUDS, MAKE INTERIOR AND EXTERIOR FINISHES CONTINUOUS OVER ALL.
- 2 NEW COLUMN C-4 (SEE SHEET A 0.3 FOR SIZES) EXPANSION BOLT TO FOUNDATION
- 3 AT COLUMNS: FILL EXISTING CONCRETE BLOCK CORES WITH 1000 PSI GROUT, TO MIN. 12" EACH SIDE OF COLUMN

- 4 NEW BEAM B-4: (SEE SHEET A 0.3 FOR SIZE)
 - A. TEMPORARILY SUPPORT ALL 2ND FLOOR JOISTS BEFORE STARTING WALL DEMOLITION.
 - B. DEMOLISH EXISTING CENTER BEARING WALL.
 - C. CUT HOLE IN RIGHT SIDE WALL TO SLIDE STEEL BEAM INTO HOUSE.
 - D. TRIM EXISTING FLOOR JOIST TO FINISH LENGTH.
 - E. SLIDE IN BEAM LENGTH OF HOUSE.
 - F. INSTALL COL-4.
 - G. ATTACH JOISTS TO BLOCKING & SLEEPERS AT BEAM.

- 5 PORCH FLOOR: CONCRETE SLAB-ON-GRADE
 - A. COMPACT NATIVE SOILS TO 95% STRENGTH
 - B. PROVIDE 4" COMPACTED GRANULAR BED
 - C. 4" CONCRETE SLAB, 3500 PSI, AT 4% TO 1% AIR ENTRAINMENT MIX.
 - D. MAKE SLAB STRUCTURALLY INDEPENDENT FROM FOUNDATION WALL AND PIERS: 4" X 1/2" ASPHALT IMPREGNATED FILLER STRIPS.
- 6 TYPICAL PIER 12" DIA CONCRETE, 3500 PSI, CONCRETE. ON TOP OF PIER, TWO CONC. BLOCKS, GROUT FILL CORES.
- 7 10"X10" CMU COLUMN, GROUT FILL TO TOP. 2" STONE VENEER WRAP CMU COLUMN. 3" T. CONC. CAP 4X4 PRESS.TREAT COLUMN UPTO BEAM

- 8 DEMOLISH EXISTING WINDOWS, INFILL WITH STUDS, MAKE EXTERIOR & INTERIOR FINISHES CONTINUOUS OVER OPENING.

ASSEMBLY TYPES
SEE SHEET A 0.3

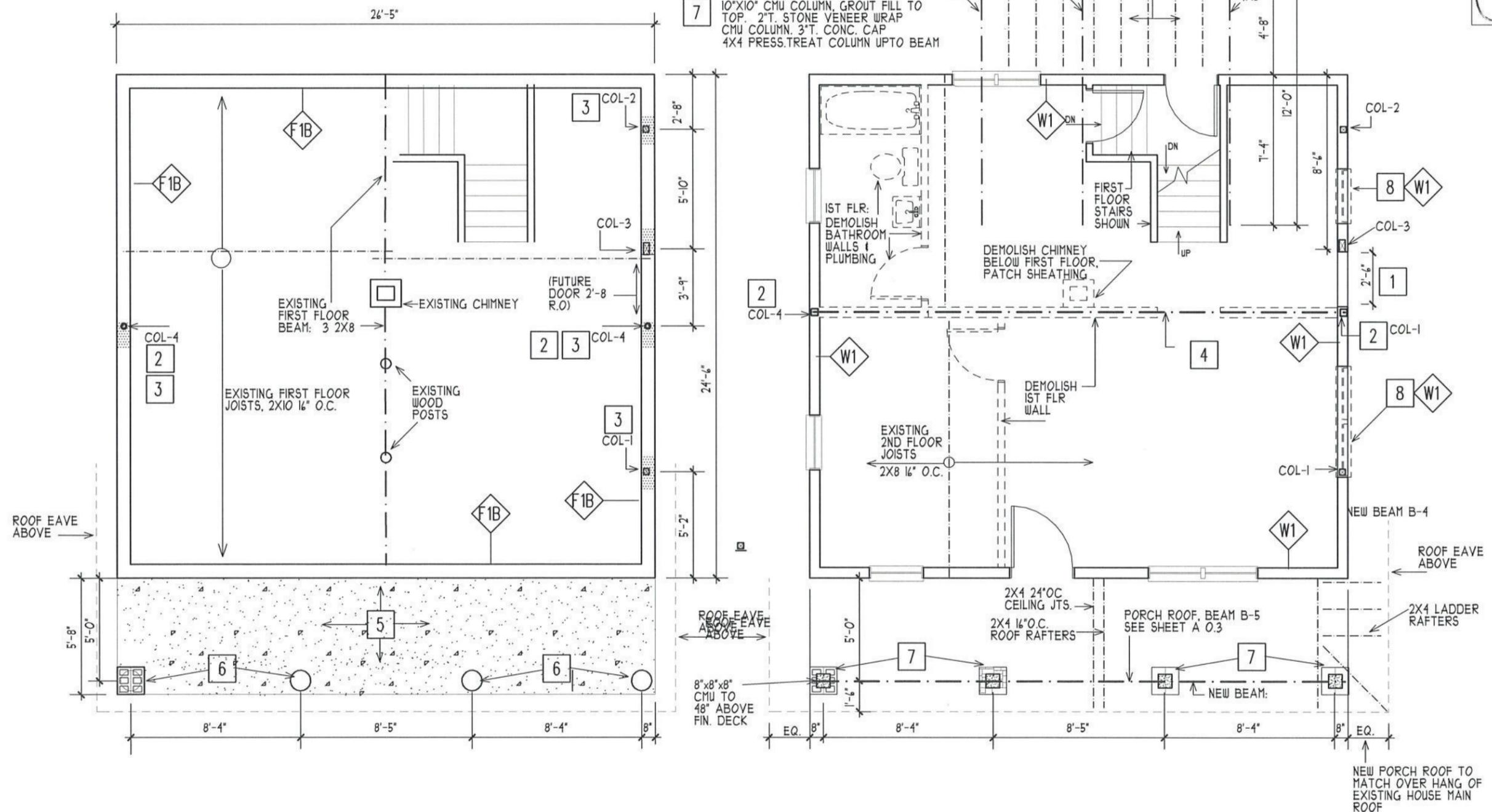


JOB#: 220-15
DATE: 6-8-2020

124 Feigel Avenue
Syracuse, N.Y. 13203
PITCHER architect PLLC
315.474.1219

RENOVATIONS
WM. COON RESIDENCE
102 CHARLOTTE STREET
SYRACUSE, NY
©Pitcher Architect PLLC, 2020. All rights reserved. Drawings are instruments of service and remain the property of the Architect.

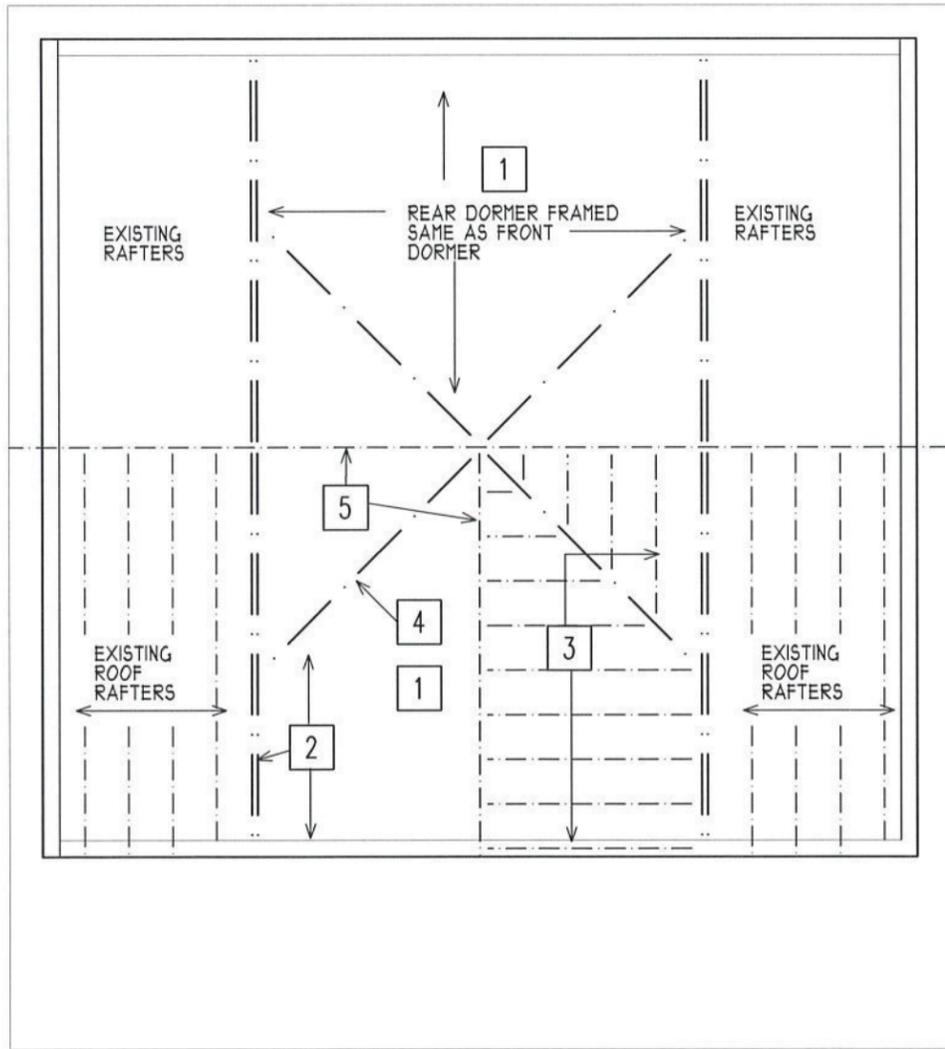
BASEMENT & FIRST FLOOR FRAMING & NOTES
A 1.0



1 FIRST FLOOR STRUCTURAL
A 1.0 3/16" = 1'-0"

2 SECOND FLOOR STRUCTURAL
A 1.0 3/16" = 1'-0"

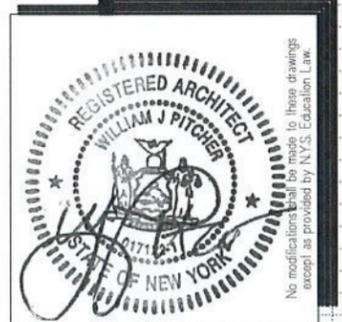
- 1 DEMOLISH EXISTING DORMER, FRAME NEW DORMER AS SHOWN
- 2 NEW DOUBLE 2X6 RAFTERS, NEW 2X4 KNEE WALL ABOVE & BELOW, FROM EAVE TO VALLEY JOIST
- 3 NEW 2X8 1/2" O.C RAFTERS, AT 5.5 : 12 PITCH
- 4 NEW 2X6 VALLEY JOIST
- 5 NEW RIDGE BOARD 1X8



1 ROOF FRAMING PLAN
A 1.1 3/16" = 1'-0"



2 FRONT ELEVATION
A 1.1 3/16" = 1'-0"



JOB#: 220-15
DATE: 6-8-2020
REVI: 7-6-2020

124 Feigel Avenue
Syracuse, N.Y. 13203
PITCHER architect P.A.C.
315.474.1219

RENOVATIONS
WM. COON RESIDENCE
102 CHARLOTTE STREET
SYRACUSE, NY
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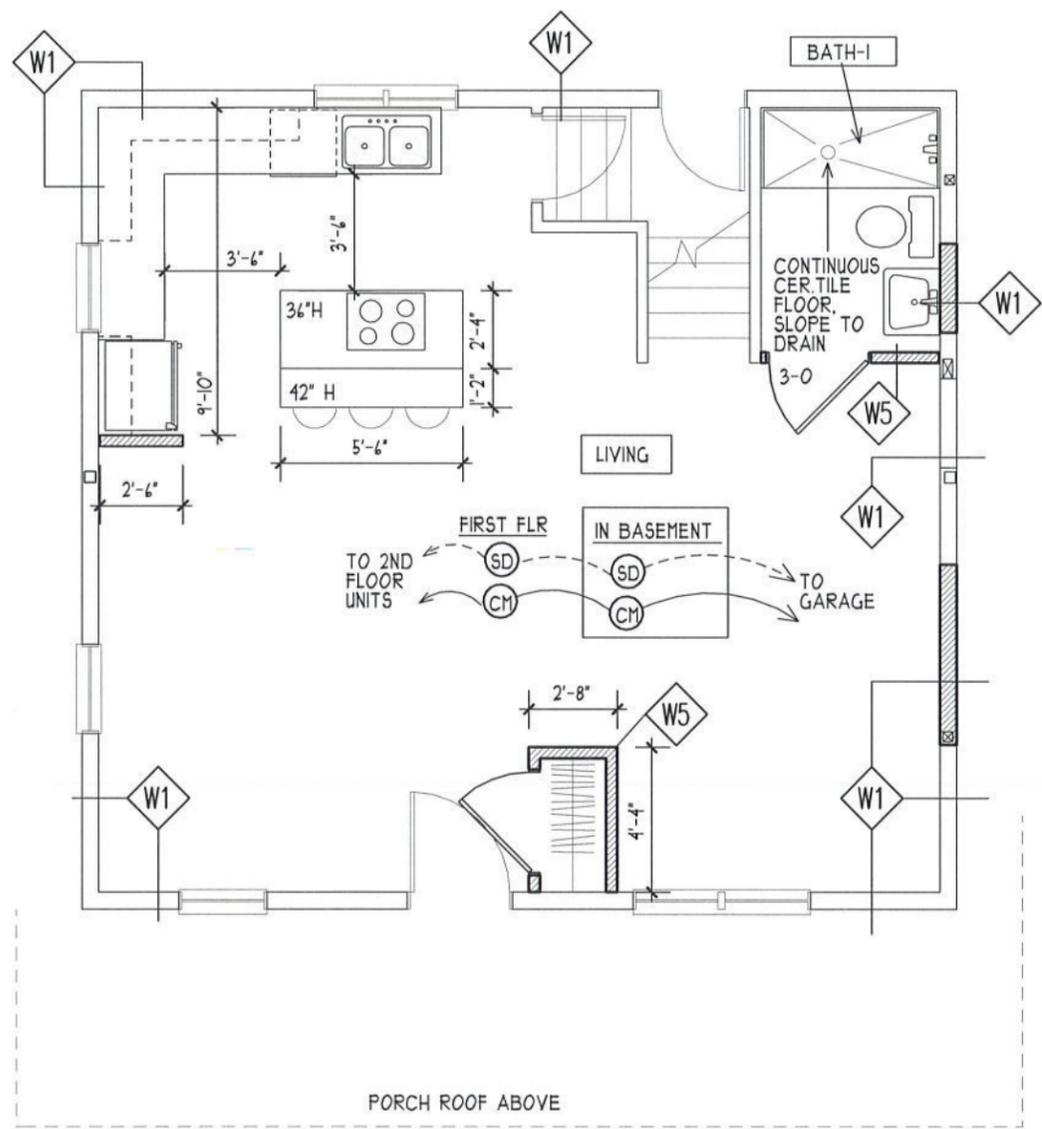
ROOF FRAMING & FRONT ELEVATION
A 1.1

◆ NN ASSEMBLY TYPES
SEE SHEET A 0.3

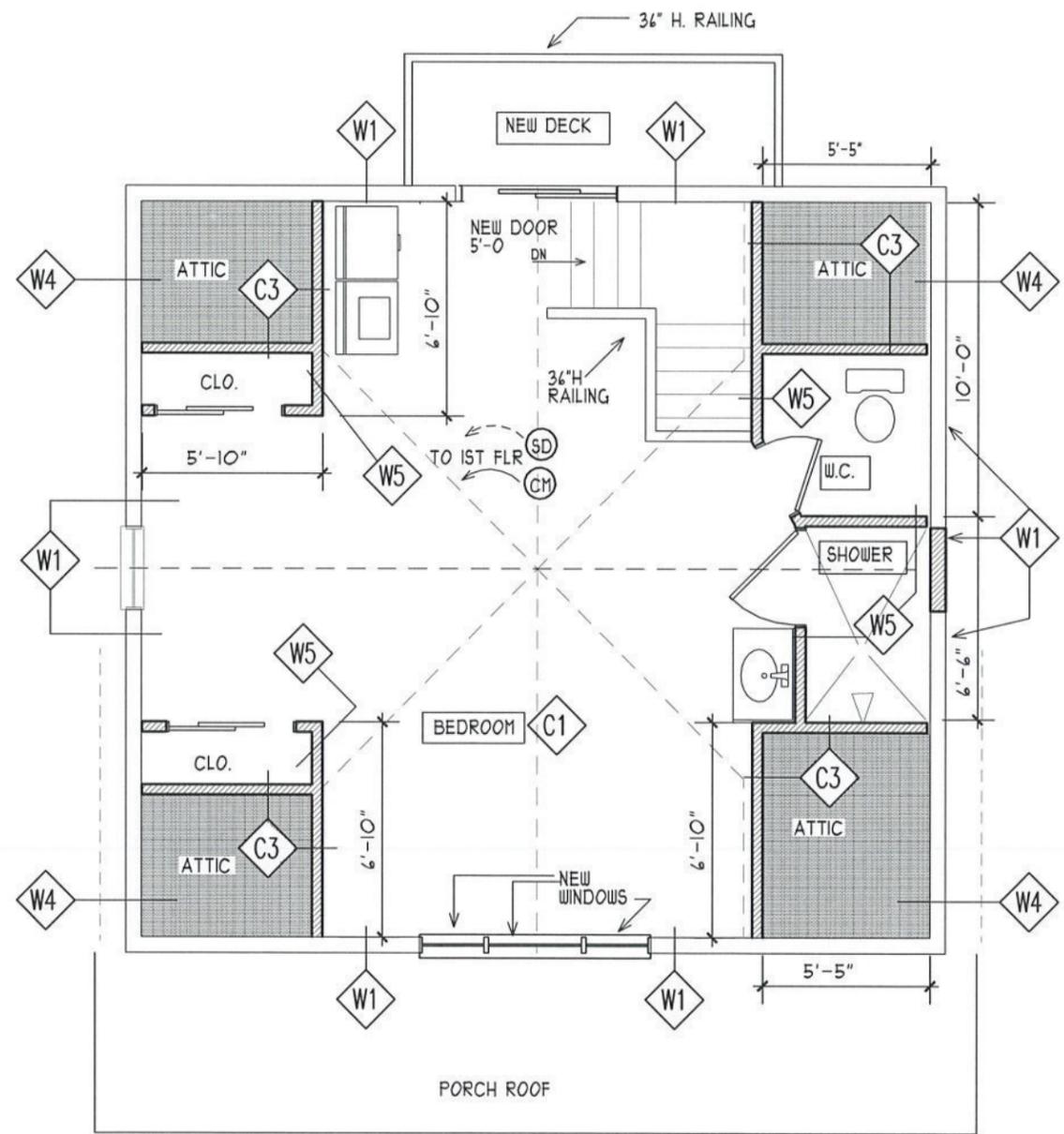
ALARM SYSTEMS

- SD SMOKE DETECTOR
- CM CARBON MONOXIDE DETECTOR

SEE SHEET A 0.2 FOR ADDITIONAL INFORMATION
IF GARAGE IS NOT BUILT AT SAME TIME AS RENOVATIONS, RUN INTERCONNECTING ALARM WIRES BEFORE INSTALLING DRYWALL FOR FUTURE ATTACHMENT.



1 FIRST FLOOR
A 1.2 3/16" = 1'-0"



2 SECOND FLOOR
A 1.2 3/16" = 1'-0"



JOB#: 220-15
DATE: 6-8-2020

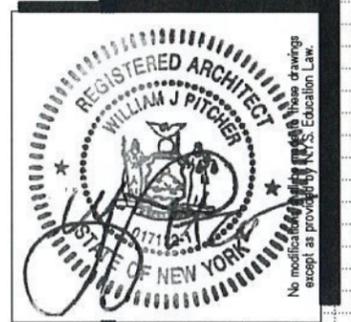
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RENOVATIONS
WM. COON RESIDENCE
102 CHARLOTTE STREET
SYRACUSE, NY
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2ND FLOOR &
ROOF
FRAMING
& NOTES
A 1.2

REVISIONS

REVISION I: ADDED DIMENSIONS,
ADDED DRIVEWAY.

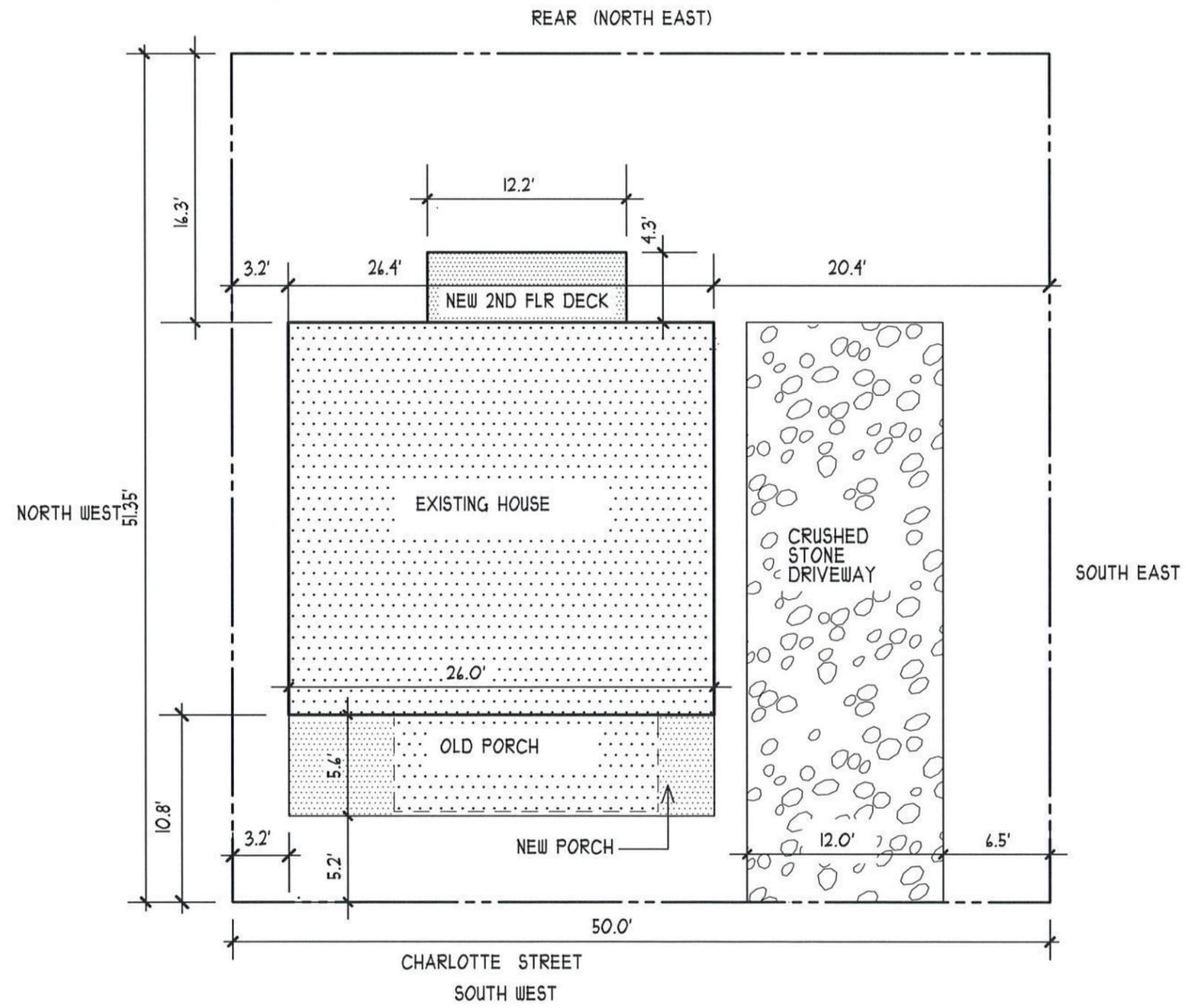


JOB#: 220-15
DATE: 6-5-2020
REV. I: 8-11-2020

124 Feigel Avenue
Syracuse, N.Y. 13203
PITCHER architect PLLC
315.474.1219

RENOVATIONS
WM. COON RESIDENCE
102 CHARLOTTE STREET
SYRACUSE, NY
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SITE PLAN
L 1.0



1 PROPERTY SITE PLAN
L 1.0 1/8" = 1'-0"

0 10 20 SCALE IN FEET 40

NYS 2020 - ENERGY CODE (RE) (RESIDENTIAL CODE IN ()) REQUIREMENTS

- RE303.1.3(2). (N101.0.3(2)): DEFAULT OPAQUE DOOR U-VALUES
- RE303.1.3(3). (N101.0.3(3)): DEFAULT GLAZED FENESTRATION VALUES
- RE303.4: MECHANICAL VENTILATION: WHERE INFILTRATION EACH OR LESS, PROVIDE WHOLE HOUSE MECHANICAL VENTILATION SYSTEM
- RE401.2 (N102.4): MANDATORY AIR LEAKAGE TEST CERTIFICATE, MAX 3 ACH.
- RE402: PROSCRIPTIVE BUILDING ENVELOPE
- RE102.1 (N102.1.1): VAPOR RETARDER = R102.1:
- RE402.1.2 (N102.1.2): ZONE 5 - TABLE
- RE402.2 (N102.2.1): CEILINGS WITH ATTICS ABOVE:
WHERE: R38 AND EDGE COMPRESSION NOT LESS THAN R30; OR R30 UNCOMPRESSED AT WALL FACE
WHERE: R49 AND EDGE COMPRESSION NOT LESS THAN R38; OR R38 UNCOMPRESSED TO WALL FACE
- RE402.2.2 (N102.2.2): CEILINGS WITHOUT ATTICA ABOVE:
500 SF OR MAX 20% CEILING SF.
- R402.4.2 (N102.4.2): FIREPLACES, UL 121.
- RE402.4 (N102.4): AIR LEAKAGE TEST (REPORT: MAX 3 ACH @ 50P
- RE 403.1 (N103.1): PROGRAMMABLE THERMOSTAT ON HEATING SYSTEM.
- RE403.3.2 (N103.3.2): DUCT SEALING, PER N101.4.1
- RE403.3.3 (N103.3.3): DUCT LEAKAGE TESTING: LEAK MAX 2% OF AIR FLOW
EXCEPTION: NOT REQUIRED IF DUCTS FULLY WITHIN ENVELOPE
- RE403.4: PIPE INSULATION MECHANICAL FLUIDS: IF G.T. 105F, OR L.T. 55F = MIN R-3 INSULATION
- RE403.5.3: HOT WATER PIPES: MIN R-3 INSULATION IF:
G.T. * DIAMETER, OR
OUTSIDE CONDITIONED ENVELOPE
- RE403.4: MANDATORY MECHANICAL VENTILATION: COMPLY WITH M1505 VENT REQUIREMENT
- M1505.2: BATHROOM (KITCHEN AIR SHALL NOT BE RECIRCULATION, BUT EXHAUSTED TO OUTDOORS.

TABLE R402.12 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT (a)

CLIMATE ZONE	FENESTRATION U-FACTOR (b)	SKYLIGHT (b) U-FACTOR	GLAZED FENESTRATION SHGC (b) (c)
5 (MARINE 4	0.30	0.55	N.R.

CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE (i)	FLOOR R-VALUE	BASEMENT (c) WALL R-VALUE
49	20 OR 13+5 (b)	13/11	30 (g)	15/19

SLAB R-VALUE (d) (DEPTH (d)	CRAWL SPACE (c) WALL R-VALUE
10, 2 FT	15/19

- NR = NOT REQUIRED
- (a) R-VALUES ARE MINIMUMS. UFACTORS AND SHGC ARE MAXIMUMS. WHERE INSULATION IS INSTALLED IN A CAVITY THAT IS LESS THAN THE LABEL OR DESIGN THICKNESS OF THE INSULATION, THE INSTALLED R-VALUE OF THE INSULATION SHALL NOT BE LESS THAN THE R-VALUE SPECIFIED IN THE TABLE.
- (b) THE FENESTRATION U-FACTOR COLUMN EXCLUDES SKYLIGHTS. THE SHGC COLUMN APPLIES TO AL GLAZED FENESTRATION.
- (c) "10/13" MEANS R-10 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME, OR R-13 CAVITY INSULATION ON THE INTERIOR OF THE BASEMENT WALL.
"15/19" MEANS R-15 CONTINUOUS INSULATION OF THE INTERIOR OR EXTERIOR OF THE HOME, OR R-19 CAVITY INSULATION ON THE INTERIOR OR EXTERIOR OF THE BASEMENT WALL.
ALTERNATIVELY, COMPLIANCE WITH "16-5/19" SHALL BE R-13 CAVITY INSULATION ON THE INTERIOR OF THE BASEMENT WALL, PLUS R-5 CONTINUOUS ON THE INTERIOR OR EXTERIOR OF THE HOME.
- (d) R-5 INSULATION SHALL BE PROVIDED UNDER THE FULL SLAB AREA OF HEATED SLAB IN ADDITION TO THE REQUIRED EDGE SLAB INSULATION R-VALUE FOR SLABS, AS INDICATED IN THE TABLE. THE SLAB EDGE INSULATION FOR HEATED SLABS SHALL NOT BE REQUIRED TO EXTEND BELOW THE SLAB
- (e) RESERVED.
- (f) RESERVED.
- (g) ALTERNATIVELY, INSULATION SUFFICIENT TO FILL FRAMING CAVITY AND PROVIDING NOT LESS THAN THE R-VALUE OF R-19.
- (h) FIRST VALUE IS CAVITY INSULATION, THE SECOND VALUE IS CONTINUOUS INSULATION. THEREFORE, "13+5" MEANS R-13 CAVITY INSULATION PLUS R-5 CONTINUOUS INSULATION.
- (i) MASS WALLS SHALL BE IN ACCORDANCE WITH SECTION R402.2.5. THE SECOND R-VALUE APPLIES WHERE MORE THAN HALF OF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL.

(N102.4.1) RESIDENTIAL REQUIREMENTS -- TABLE R-402.4.1 -- AIR BARRIER & INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.
CEILING/ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SEALED. ACCESS OPENINGS, DROP DOWN STAIRS OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	THE INSULATION IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
WALLS	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHALL BE SEALED. KNEE WALLS SHALL BE SEALED.	CAVITIES WITHIN CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW/DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED WITH LOW-EXPANSION FOAM.	
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER	RIM JOISTS SHALL BE INSULATED.
FLOORS (INCLUDING ABOVE GARAGES AND CANTILEVERED FLOORS)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING; AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
CRAWL SPACE WALLS	EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWL SPACE WALLS
SHAFTS AND PENETRATIONS	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	
NARROW CAVITIES		BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.
PLUMBING AND WIRING	SEAL ALL PENETRATIONS OF SOLE AND HEAD PLATES OF WALLS WITH EXPANDING FOAM INSULATION	BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
SHOWER/TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
ELECTRICAL/PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.	
CONCEALED SPRINKLERS	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALLS OR CEILINGS.	

GENERAL NOTES:

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO BEGINNING OF WORK. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF DISCREPANCIES.
2. CONTRACTOR SHALL COMPLY WITH THE CURRENT VERSION OF N.Y.S. BUILDING CODES, ALL GOVERNING GOVERNING CODES AND REGULATIONS, ALL OFFICIALS HAVING AUTHORITY OVER THE PROJECT.
3. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES WITH U.F.P.O. AND THE LOCAL MUNICIPALITY.
4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION, INCLUDING: ROOF, SITE SLOPES AND ELEVATIONS, FRAMING CONFIGURATION AND SIZES
5. DESIGN OF ELECTRICAL, PLUMBING AND MECHANICAL SYSTEMS ARE BY OTHERS.

GENERAL STRUCTURAL NOTES:

1. FLOORS: DESIGNED TO N.Y.S. CODE: RESIDENTIAL AT 40 PSF LL + 10 PSF DL SLEEPING FLOORS: 30 PSF LL + 10 PSF DL -- UNLESS NOTED OTHERWISE.
2. ROOF RAFTERS: DESIGNED FOR 15 PSF DL; SEE "NYS CODE" FOR SNOW, SEISMIC AND WIND LOADS (SEE ABOVE).
3. FRAMING: ALL JOISTS, RAFTERS, BEAMS, HEADERS, ETC. HAVE BEEN DESIGNED FOR SPRUCE #2, Fb= 1200, E= 1,320,000. UNLESS NOTED OTHERWISE.
4. HEADERS: UNLESS NOTED OTHERWISE ON DRAWINGS, MINIMUM SIZE OF ALL HEADERS FOR DOORS AND WINDOWS SHALL BE TWO 2X4 BOXED FOR 2X4 WALLS, AND TWO 2X4 + 1/2" PLYWOOD FOR 2X4 WALLS.
5. SOIL BEARING: ASSUMED BEARING CAPACITY IS 1,000 PSF OWNER/CONTRACTOR VERIFY ACTUAL CAPACITY. IF NOT MINIMUM BEARING CAPACITY, FOOTERS MUST BE REDESIGNED BY A LICENSED PROFESSIONAL.
6. CONCRETE SHALL HAVE THESE MINIMUM STRENGTHS, UNLESS NOTED OTHERWISE: FOOTERS AND BASEMENT SLABS = 2500 PSI; GARAGE SLABS AND EXTERIOR SIDE WALKS: 3,500 PSI WITH 4% TO 1% AIR ENTRAINMENT. PROTECT CEMENT AND MORTAR FOR MINIMUM 7 DAYS AGAINST FREEZING.
7. BUILDING SHEATHING, UNLESS NOTED OTHERWISE, SHALL BE MINIMUM 1/2" THICK.

SMOKE & CARBON MONOXIDE ALARMS

1. COMBINATION SMOKE & CO UNITS ARE PROHIBITED. SEPARATE SMOKE ALARMS AND SEPARATE CO ALARMS ARE REQUIRED.
2. ALL MULTIPLE-STATION UNITS OF THE SAME ALARM SYSTEM SHALL BE INTERCONNECTED WITHIN THE DWELLING, SO THAT ONE UNIT IN ALARM WILL ACTIVATE ALL SIMILAR UNITS IN ALARM.
3. UNITS SHALL BE NOV AC POWER WITH BATTERY BACKUP.
4. ALL UNITS SHALL RECEIVE AC POWER FROM AN UNSWITCHED CIRCUIT (ONLY BREAKER BETWEEN UTILITY POWER AND UNITS).



JOB# 220-15
DATE 6-5-2020

124 Feigel Avenue
Syracuse, N.Y. 13203

PITCHER architect inc.

315.474.1219

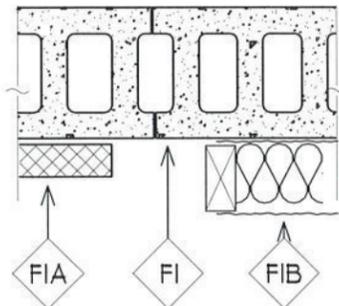
RENOVATIONS
WM. COON RESIDENCE
102 CHARLOTTE STREET
SYRACUSE, NY

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ENERGY CODE:
AIR SEALING
REQUIREMENTS

A 0.2

CONSTRUCTION ASSEMBLIES



8" CONCRETE BLOCK WALL

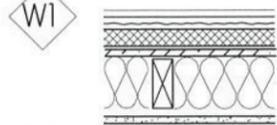
NOMINAL 8X8 1/2 CONCRETE BLOCK.
HORIZONTAL LADDER REINFORCING, EVERY 2ND COURSE VERT'LY.
ADD VERTICAL REBARS, WHERE NOTED OR SHOWN
SILL BOLTS: BENT J-SHAPE, 12" EMBEDMENT, 4" O.C. MIN.

FI: R-0, NO INSULATION

FIA: R-10: 2" POLYSTYRENE BOARD

FIB: R-13: EITHER
6-MIL POLY SHEET + 2X4 + R-13 FIB.GLASS BATT |OR|
VINYL ENCASED FIB.GLASS BLANKET

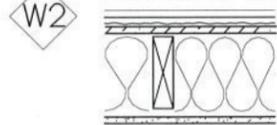
W1 EXTERIOR 2x4 STUD WALL



SIDING

AIR BARRIER, "TYVEC" OR EQUAL
R-5 EPS INSULATION BOARD
WOOD WALL SHEATHING
R-13 FIBERGLASS BATT INSULATION
2X4 WOOD STUDS, 16" O.C.
1/2" GYPSUM BOARD DRYWALL

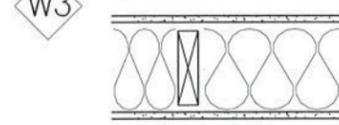
W2 EXTERIOR 2x6 STUD WALL



SIDING

AIR BARRIER, "TYVEC" OR EQUAL
1/2" T. WOOD SHEATHING
R-13 FIBERGLASS BATT INSULATION
2X4 WOOD STUDS, 16" O.C.
1/2" GYPSUM BOARD DRYWALL

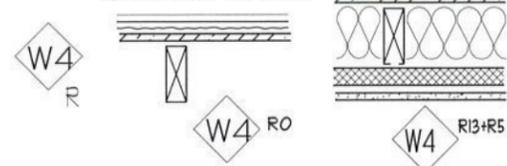
W3 GARAGE TO HOUSE WALL



FIRE DOORS IN WALL: 45-MINUTE, SELF-CLOSING

5/8" TYPE 'X' GYP. BOARD, ON GARAGE SIDE
R-20 FIBERGLASS BATT INSULATION
2X4 WOOD STUDS, 16" O.C.
1/2" TYPE 'X' GYPSUM BOARD DRYWALL

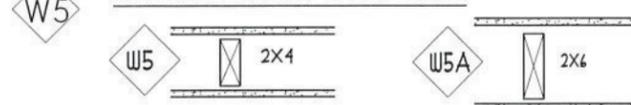
W4 GARAGE WALLS



SIDING

TYVEC AIR BARRIER
WOOD SHEATHING
2X4 STUDS 16" O.C.
WHERE R13+R5: FIBERGLASS BATT + RIGID BD.
1/2" DRYWALL

W5 INTERIOR WOOD STUD WALL



1/2" GYPSUM BOARD
WOOD STUDS, 16" O.C.
1/2" GYPSUM BOARD

C1 CATHEDRAL CEILING



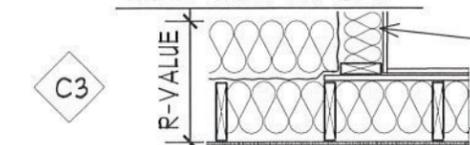
235#/SQ ASPHALT ROOF SHINGLES
15# ASPHALT FELT
SPRAY-ON FOAM INSULATION TO SHEATHING
WOOD RAFTERS OR ROOF TRUSSES
1/2" DRYWALL

C2 GARAGE CEILING



FINISH FLOORING (HEATED SPACE)
R-30 F.GLASS OR CELLULOSE INSULATION
TYVEC AIR BARRIER
5/8" TYPE 'X' GYPSUM BOARD

C3 KNEE WALL SPACES



F.GLASS OR CELLULOSE BETWEEN FLOOR JOISTS
TYVEC WITH REST OF INSULATION ON TOP
WALL: TYVEC + R-20 F.G. BATT
MIN R-20 AT RIM JOISTS WHERE HEATED FLOOR ABOVE
WHERE ATTIC ABOVE: TYVEC BETWEEN DRYWALL AND CEILING JOISTS, WITH INSULATION ABOVE.

INSULATION EQUIVALENTS:

THE FOLLOWING MATERIALS MAY BE USED IN MULTIPLE LAYERS OF DIFFERING MATERIALS TO ACHIEVE TOTAL SPECIFIED R-VALUE, AND TO SUBSTITUTE MATERIALS DIFFERENT FROM MATERIALS REFERENCED ELSEWHERE.

FIBERGLASS BATT INSULATION

R-VALUE	THICKNESS
R-11	3-1/2"
R-13	3-5/8"
R-15	3-1/2" DENSE
R-19	4-1/4"
R-21	5-1/2"
R-25	8 -> 8-1/2"
R-30	9-1/2"
R-38	12"
R-49	15-1/2"

RIGID INSULATION

MATERIAL	R-VALUE	MOISTURE
'EPS' EXPANDED POLYSTYRENE	R4.4/INCH	RESISTANT
'XPS' EXPANDED POLYSTYRENE	R-5/INCH	ADSORBS
'ISO' POLY-ISOCYANURATE	R4.9 TO R-7.1	PER MANF LABEL

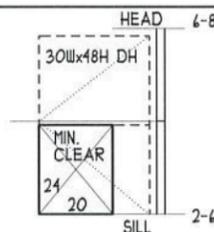
SPRAY-ON FOAM INSULATION

MATERIAL	R-VALUE
OPEN CELL	R-3.5/INCH
CLOSED CELL	R-4.9 TO R-7.1

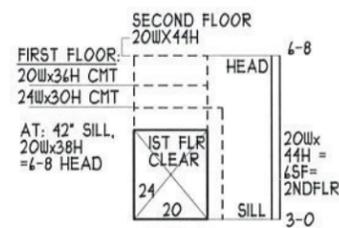
CELLULOSE INSULATION

DENSE PACKED DEPTH	R-VALUE	LOOSE BLOWN DEPTH	R-VALUE
2"	R-7	4.3"	R-13
2.5"	R-9	4.8"	R-15
3"	R-10.5	5.3"	R-19
		6.8"	R-22

IF USING DENSE PACKED IN ATTIC, USE 1/4" T. PLYWOOD VENT BAFFLES TO MAINTAIN MINIMUM VENT DEPTH



1ST FLOOR EGRESS WINDOW MIN 5.0 SF



CASEMENT
1ST FLR = MIN 5.0 SF
2ND FLR = MIN 5.1 SF

EGRESS WINDOWS

FIRE BLOCKING R-402.8

SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL & HORIZONTAL), AND TO FORM AN EFFECTIVE BARRIER BETWEEN STORIES, AND A TOP STORY AND ATTIC.

PROVIDE AT CONCEALED SPACES OF STUD WALLS INCLUDING FURRED SPACES, PARALLEL STUDS AND STAGGERED STUDS.

-- VERTICALLY AT CEILING AND FLOOR LEVELS
-- HORIZONTALLY AT MAXIMUM 10 FOOT DISTANCES

PROVIDE AT ALL INTERCONNECTED HORIZONTAL AND VERTICAL SPACES, SUCH AS, SOFFITS, DROPPED CEILINGS, AND COVE CEILINGS.

PROVIDE BETWEEN STAIR STRINGERS AT TOP AND BOTTOM OF EACH FLIGHT.

PROVIDE AT CHIMNEYS, AND CORNICES OF TWO-FAMILY HOUSES ABOVE DWELLING SEPARATION WALLS.

APPROVED MATERIALS IN STUD WALLS & CEILINGS:

- ONE 2X OR TWO 1X SOLID WOOD
- TWO 23/32" STRUCTURAL WOOD LAYERS
- ONE 3/4" PARTICLE BOARD WITH JOINTS COVERED WITH 1/2" DRYWALL OR 3/4" P.B.
- UNFACED FIBERGLASS INSULATION, FULL WIDTH AND THICKNESS OF CAVITY, AND MINIMUM 1/4" LONG PERMITTED.

APPROVED MATERIALS AT:

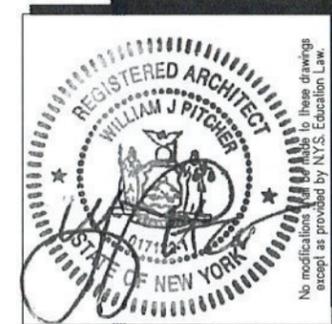
- WHERE DUCTS, PIPES AND CABLES PENETRATE FLOORS, TIGHTLY PACK F.G. BATTS AROUND.
- WHERE STAGGERED- OR PARALLEL-STUD WALLS BLANKETS OF MINERAL OR GLASS WOOL SECURELY SUPPORTED.

STRUCTURAL SCHEDULE

HORIZONTAL MEMBER				VERTICAL END SUPPORT MEMBER			
MARK	TYPE	COUNT	MATERIAL	MARK	TYPE	COUNT	MATERIAL
B-1	BEAM	(3)	1-3/4"X11-1/4" 2.0E MICROLLAM	C-1	COL.	EACH END: (2)	2X6
B-2	BEAM	(3)	1-3/4"X11-1/4" 2.0E MICROLLAM	C-2	COL.	EACH END: (2)	2X6
B-3	BEAM	(2)	1-3/4"X11-1/4" 2.0E MICROLLAM	C-3	COL.	EACH END: (1)	4X4 SPRUCE
B-4	BEAM	(1)	W8 X 58 STEEL, 36K	C-4	COL.	3" DIA. STEEL PIPE, SCH.40, GROUT-FILLED HEAD & BASE PLATES, 2 HOLES: 8"X4"X1/2"	
B-5	BEAM	(2)	2X10 SPRUCE	C-5	COL.	(ALL) 4x4 PRESSURE TREATED WOOD	
HD-1	HEADER	TWO	2X10 SPRUCE #1/#2	JS-1	J.S.	(2) JACK STUDS EACH END	
HD-2	HEADER	ONE	2X6 SPRUCE #1/#2	JS-1	J.S.	(1) JACK EACH END, 2 INTERMEDIATE 2X6	

NOTES:

- PROVIDE ALL ATTACHMENT SHOES, PLATES & CLIPS.
- ANCHOR ALL COLUMNS, SILL PLATES AND SHEAR PANEL TO FOUNDATION
- HOLD-DOWN CLIPS BETWEEN ALL RAFTERS AND WALLS.



JOB#: 220-15
DATE: 6-5-2020

124 Feigel Avenue
Syracuse, N.Y. 13203

PITCHER architect PLLC

315.474.1219

RENOVATIONS
WM. COON RESIDENCE
102 CHARLOTTE STREET
SYRACUSE, NY

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WALLS TYPES,
EGRESS,
&
NOTES

A 0.3

Pictures of project site and streetscape for 102 Charlotte street Home renovation.

Pictures of home when I purchased it (It had been Vacant for almost Three Years)



Northwest corner of house when purchased



Southwest corner when Purchased



Front of house at purchase



Back Yard at time of Purchase

Current Pictures Of my home



Current view of home from across the street



Current Northwest corner of home



Current Back Yard

Streetscape



Standing Directly in front of house looking south on street



406 Herkimer
street

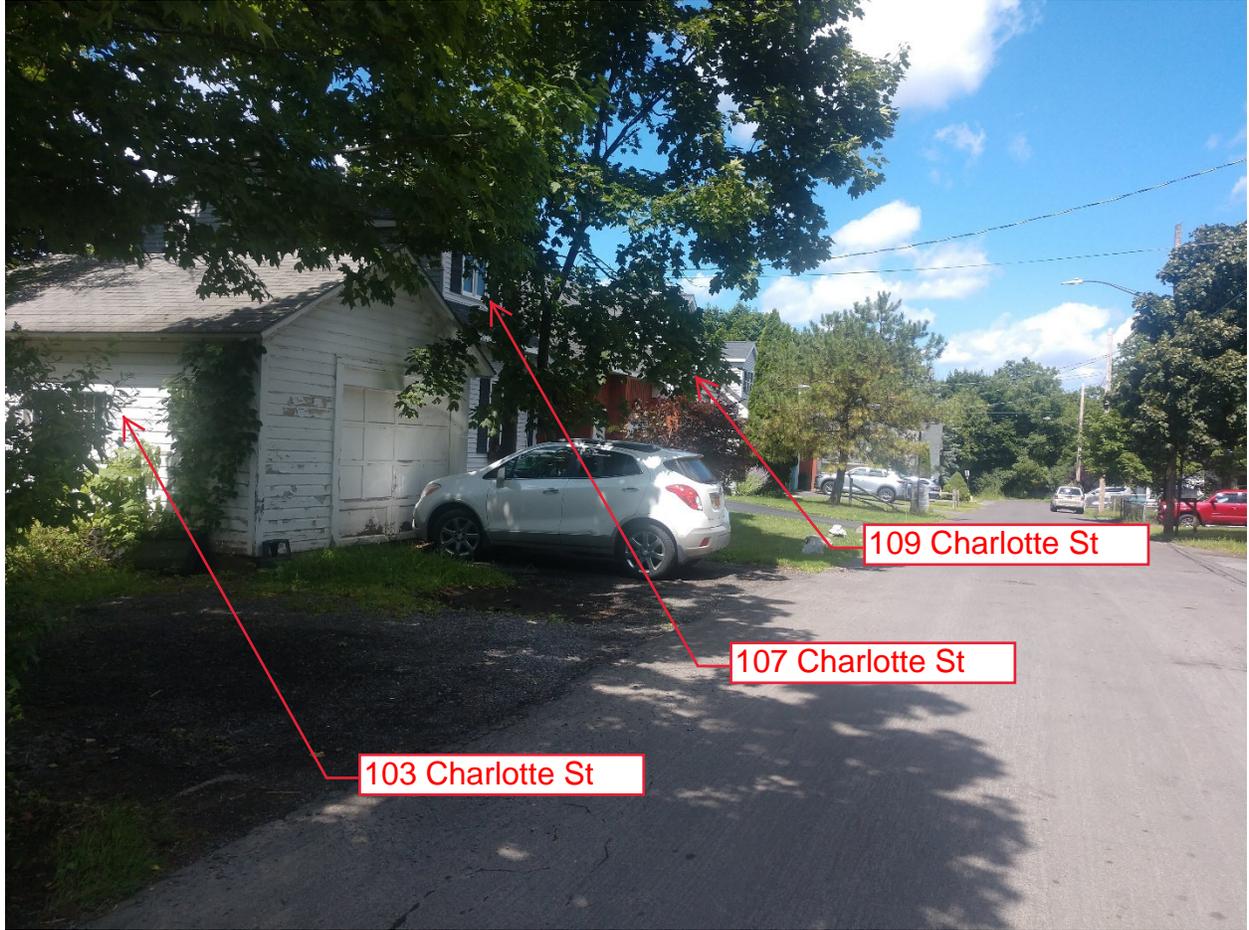
House directly across street to the southwest



House directly next-door to the north



Standing in front of house looking north east. on street



House North-west of house looking north on street.