

PLEASE TYPE OR PRINT (LEGIBLY)

For Office Use Only:	Application Number: V-19-28 M1
Tax map Section: 63	Block: 13 Lot: 010 Zoning District: CBD-05R

1. Address of subject property: 500 Erie Boulevard East and Townsend Street

2. Year property was purchased by current owner: 2019

3. Applicant/Contact information:

a. Owner(s) (current titleholder):

Name(s): Smith Building, LLC

Mailing Address: 225 Wilkinson Street, Syracuse, New York

Zip: 13204 Daytime phone number: (315) 416-9566 home phone number:

e-mail (alternate contact for additional information request): matthew@paulusdevelopment.com

b. Contract Purchaser(s) [ ], Lessee [ ], or Co-applicant [ ] (if applicable)

\*note: Copy of contract to purchase must be included with application if this Contract Purchaser or Lessee applies.

Name(s):

Mailing Address:

Zip: Home phone number: Day Phone:

e-mail (alternate contact for additional information request): c

Representative: Attorney [x], Architect [ ], Contractor [ ], Other [ ]

(Only if involved in this application)

Name(s): Weaver Mancuso Frame PLLC, Kristy Frame

Mailing Address: 16 Oswego Street, Suite 2, Baldwinsville, NY 13027

Zip: 13027 Telephone number: (315) 303-3408

4. Current Use of Property: (i.e., 2 family dwelling, grocery store, etc.): Retail

Proposed use and occupancy: See Attachment A

Current number of onsite (off-street) parking spaces: 11 (not all are legal)

Proposed number of onsite (off-street) parking spaces: 8 with 4 on-street parking spaces

Days and hours of operation (for any business uses): Business uses are not finalized at this time.

State the nature of any new additions or construction involved: See Attachment A

**Reason for request:**

The courts have distinguished between use variances (for uses which are not permitted) and area variance (for excess lot coverage, additions into required yards, etc.). Be aware that the standards of proof for a use variance are much more demanding than for an area variance and that the burden is on the applicant to provide such proof in arguing their case. (See Standard of Proof requirements on required submittal page.)

Use an additional sheet(s) of paper to present proof if necessary. See Attachment A. The

Applicant is requesting a modification of Variance Approval V-10-28 to establish a mixed-use by waiving the location of dwelling units and the required parking on the property to add a seventh dwelling unit to the first floor of the building.

The following affirmation must be signed and dated by the CURRENT PROPERTY OWNER or the owner's LEGAL representative (attorney, power of attorney, partner in the business, etc.).

**DECLARATION**

I understand that false statements made herein are punishable as a Class A Misdemeanor, pursuant to section 210.45 of the Penal Law of the State of New York. I declare that, subject to the penalties of perjury, any statements made on this application and any attachments are the truth and to the best of my knowledge correct.

I also understand that any false statements and/or attachments presented knowingly in connection with this application will be considered null and void.

Signature of CURRENT PROPERTY OWNER (or owner's LEGAL representative) 3/2/20  
Date

BY: PAULUS CAPITAL, LLC  
Printed or typed name of Person whose signature is above (if legal representative, also state relationship to owner)  
MATTHEW PAULUS  
ITS AUTHORIZED SIGNATORY

SYRACUSE BOARD OF ZONING APPEALS  
CITY HALL COMMONS, ROOM 211  
201 EAST WASHINGTON STREET  
SYRACUSE, NY 13202  
(315) 448-8640

**Board of Zoning Appeals application Procedures**

Variance applications involve public hearings with the Board of Zoning Appeals. A variance application will not be considered complete on the applicant's part until all required submittals have been received and has also been through a preliminary review by Zoning office staff (and possibly other departments), including an evaluation of the application under the New York State Environmental Quality Review Act (SEQR).

Once an application has been determined to be ready to schedule for a public hearing with the Board of Zoning Appeals, it will be scheduled for the **next available** hearing date (allowing the necessary time from for the Board's authorization, newspaper publication, mailing schedules, etc.). The applicant will be contacted by phone to confirm that the applicant is able to attend on that hearing date (or if not, then schedule a later hearing date). A "Public Notice" for the hearing date will also be mailed to the applicant (and representative, if any) approximately ten days prior to the hearing date.

The Public Notice is also published in the newspaper ten days prior to the hearing date. Public Notices are also sent to property owners contiguous to any property subject to a public hearing, and to other city departments and neighborhood organizations. Postcards regarding the hearing are also sent as a courtesy to neighbors in the immediate area of any property subject to a public hearing.

The application file will be open for inspection at the office of the Board of Zoning Appeals at the Syracuse Zoning Administration Office during regular office hours.

Unless otherwise notified, all meetings at which public hearings are to be held will begin at 1:00 p.m. in the Common Council Chambers on the third floor of City Hall.

The applicant or his or her representative **must attend** the public hearing to explain the case request to the Board of Zoning Appeals. (The rules of the Board of Zoning Appeals do not permit postponements due to the absences of applicants or their representatives.) A variance decision is not final until a written resolution is adopted by the Board of Zoning Appeals and filed with the secretary to the Board. Depending upon the situation, the resolution possibly may not be adopted until a later meeting. A copy of the resolution will be mailed to the applicant.

Depending upon the type and complexity of the application, any necessary reviews, and the hearing schedule, the entire variance application process from the submission of the application to the release of the resolution may take approximately two months.

Please sign that you have read and understand the above information and return this page with the application

SIGN: \_\_\_\_\_

Date: \_\_\_\_\_

2/2/20

BY: PAULUS CAPITAL, LLC  
BY: MATTHEW PAULUS

The application may be mailed or delivered in person to the Syracuse City Zoning office, City Hall Commons, Room 211, 201 East Washington Street, Syracuse, NY 13202-1426. If you wish to discuss the application with a member of our staff, please call ahead for an appointment (448-8640).

Note that after receipt of the application, it may be necessary to require additional information from the applicant. An application must be complete before a public hearing can be scheduled.

Items that are submitted with the application will not be returned so it is important that the applicant must make any copies of items they need prior to submitting the application. **Copies will not be made by staff to the Board of Zoning Appeals.**

**APPLICANT PLEASE NOTE:** Approval of your application by the Board of Zoning Appeals does not relieve you or your agent from compliance with any other regulatory or licensing provisions applicable thereto by the properly constituted federal, state, county, or city authorities, including the issuance of permits by the Division of Code Enforcement.

## Short Environmental Assessment Form

### Part 1 - Project Information

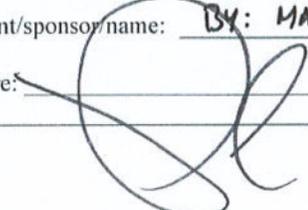
#### Instructions for Completing

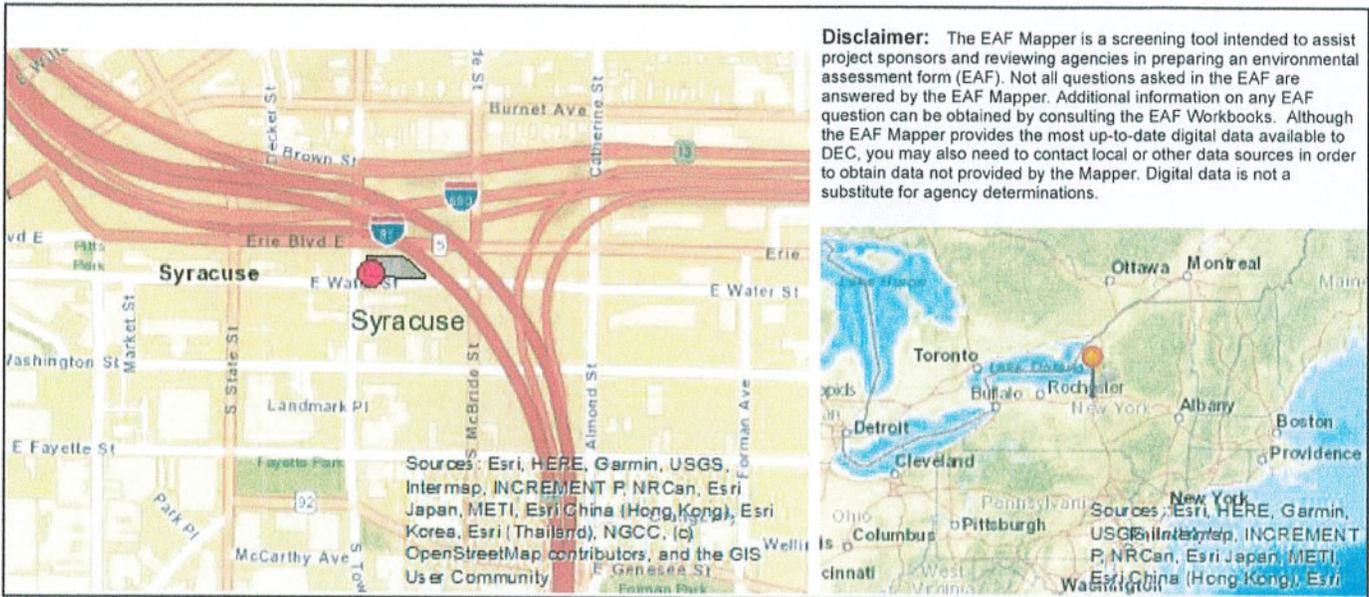
**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project: Smith Restaurant Supply Building			
Project Location (describe, and attach a location map): 500 Erie Blvd East, Syracuse, NY (Tax Map 103.-13-1.0)			
Brief Description of Proposed Action: The Smith Restaurant Supply Building is a historic rehabilitation of an existing commercial building into a mixed-use facility within the City's Central Business District. The proposed mixed-use project will include 37 residential affordable apartments, office and commercial uses. The project includes the historic rehabilitation of existing 3-story and 6-story buildings on one existing lot totaling approximately 0.334 acres of land (14,549 square feet). A proposed addition of approximately 263 square feet will be constructed on the east end of the building to accommodate a stairway and elevator for future residential occupants. The proposed action seeks a variance from Part B, Section IV, Article III(2)(f) to allow for residential apartments on the first floor of the buildings.			
Name of Applicant or Sponsor:  <i>Smith Building, LLC</i>		Telephone: (315) 416-9566	
Address: 225 Wilkinson Street		E-Mail: matthew@paulusdevelopment.com	
City/PO: Syracuse	State: NY	Zip Code: 13204	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: City of Syracuse Industrial Development Agency (financial assistance)		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ .25 acres			
b. Total acreage to be physically disturbed? _____ .25 acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ .25 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
Peregrine Falcon	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe:		
Stormwater best practices to be utilized		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Subject site to undergo remediation as required by NYS standards		
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: <u>PAULUS CAPITAL, LLC, ITS SOLEMEMBER</u>		
Signature: <u></u>		
Title: <u>BY: MATTHEW PAULUS, ITS AUTHORIZED SIGNATORY</u> Date: <u>11/22/19</u>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	Yes
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Peregrine Falcon
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes

# ATTACHMENT A



JOHN A. MANCUSO  
ATTORNEY  
o 585.301.4777  
f 585.301.4990  
jmancuso@wmbpllc.com  
95 Allens Creek Road  
Bldg 1, Ste 318  
Rochester, NY 14618

March 2, 2020

**VIA HAND DELIVERY**

Syracuse Board of Zoning Appeals  
City Hall Commons, Room 101  
201 East Washington Street  
Syracuse, New York 13202

**Re: *Smith Building, LLC***  
*Application for Area Variance – 500 Erie Blvd. East and Townsend St.*

Dear Board of Zoning Appeals:

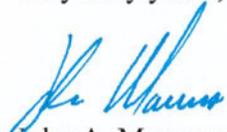
Our office represents Smith Building, LLC (the “Applicant”) in connection with its property located at 500 Erie Blvd. East and Townsend St. in the City of Syracuse. On January 9, 2020, the Syracuse Board of Zoning Appeals (the “BZA”) approved Application V-10-28 for an area variance to establish a mixed-use by waiving the location of dwelling units and the required parking on the property (the “Variance Approval”). Copies of the application documents and the January 9, 2020 minutes of the BZA approving the area variance are enclosed.

During the project site review process, the Applicant modified the project by adding a seventh dwelling unit to the first floor, thereby increasing the total number of units from 37 to 38. The area variance approved six dwelling units on the first floor and waived parking for 37 dwelling units. Under the City Zoning Ordinance, the dwelling units now require 38 parking spaces (*see* Part C, Section III, Article I, § 1 of the City Zoning Ordinance). As a result, the City has indicated that a modification to the Variance Approval is necessary.

Accordingly, please accept this letter in connection with the Applicant’s request for a modification of the Variance Approval to establish a mixed-use by waiving the location of dwelling units and the required parking on the Property per the enclosed updated plans. Because the requested modification is only for one additional unit and parking space, the Applicant respectfully relies on its prior submissions to the BZA and analysis of the area variance factors in support of the Applicant’s request for a modification of the Variance Approval. For the reasons set forth therein, the Applicant respectfully submits that a balancing of the area variance factors weighs in favor of granting the modification of the Variance Approval.

We respectfully request that the BZA at its March 5, 2020 meeting accept the application and schedule a public hearing on the modification request for the BZA's April 2, 2020 meeting. The Applicant is available at the convenience of the BZA if it has any questions concerning the Applicant's request to modify the Variance Approval.

Very truly yours,



John A. Mancuso

Enclosures

2020  
 SITE PLAN REVIEW DOCUMENTS  
 SMITH BUILDING - 500 W. WATER ST.  
 CITY OF SYRACUSE PLANNING COMMISSION  
 CITY OF SYRACUSE, ONONDAGA COUNTY, NY

LIST OF DRAWINGS- 02/05/2020

L-001	TITLE SHEET
L-100	SITE PREPARATION PLAN
L-101	EROSION CONTROL PLAN
L-200	GRADING DRAINAGE & UTILITIES PLAN
L-201	GRADING DETAILS PLAN
L-300	LAYOUT AND PLANTING PLAN
L-400	DETAILS
L-401	DETAILS
L-402	DETAILS
L-403	DETAILS
L-500	LIGHTING PLAN

MAYOR  
 BEN WALSH

DEPUTY MAYOR  
 SHARON OWENS

PLANNING COMMISSION  
 STEVEN KULICK - CHAIRPERSON  
 REBECCA LIVENGOOD  
 CHRISTINE CAPELLA-PETERS  
 WALTER BOWLER  
 GEORGE LYNCH

DEPT. OF ZONING ADMINISTRATOR  
 HEATHER LAMENDOLA

DEPARTMENT OF ENGINEERING  
 MARY E. ROBISON, P.E.



**LOCATION PLAN**   
 NOT TO SCALE



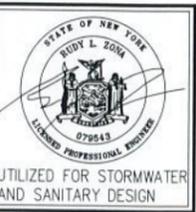
RZ ENGINEERING, PLLC  
 CIVIL ENGINEER  
 6320 FLY RD. SUITE 109,  
 East Syracuse, New York 13057  
 Phone: (315)432-1089

APPROVED BY AUTHORIZATION  
 OF THE PLANNING BOARD

STEVEN KULICK - CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

SANITARY SEWER SYSTEM  
 APPROVED BY ONONDAGA COUNTY  
 DEPARTMENT  
 OF WATER ENVIRONMENT PROTECTION

COMMISSIONER \_\_\_\_\_ DATE \_\_\_\_\_



SMITH MIXED USE BUILDING and  
 SITE REDEVELOPMENT  
 500 E. ERIE BLVD., CITY OF SYRACUSE, NY

REVISIONS

Drawn By: \_\_\_\_\_ V.E.R.  
 Checked By: \_\_\_\_\_ S.L.F.  
 KFA Proj. No: 39075  
 Date: FEBRUARY 05, 2020  
 Scale: AS NOTED  
 Title:

TITLE SHEET

**L-001**

**IMPERVIOUS PAVEMENT SUMMARY**

**NOTES:**  
 1. EXISTING ASPHALT WILL BE FILLED AND SEALED PER CITY GUIDELINES, PARKING AREA WILL HAVE 10' SCREENED BUFFER AREA.

**CALCULATIONS:**

- EXISTING ASPHALT IMPERVIOUS SURFACE=34,030.3 SF / .78 Ac.
- PROPOSED ASPHALT IMPERVIOUS SURFACE=32,152.8 SF / .74 Ac.
- PERCENT REDUCTION= 5.52%

**LEGEND**

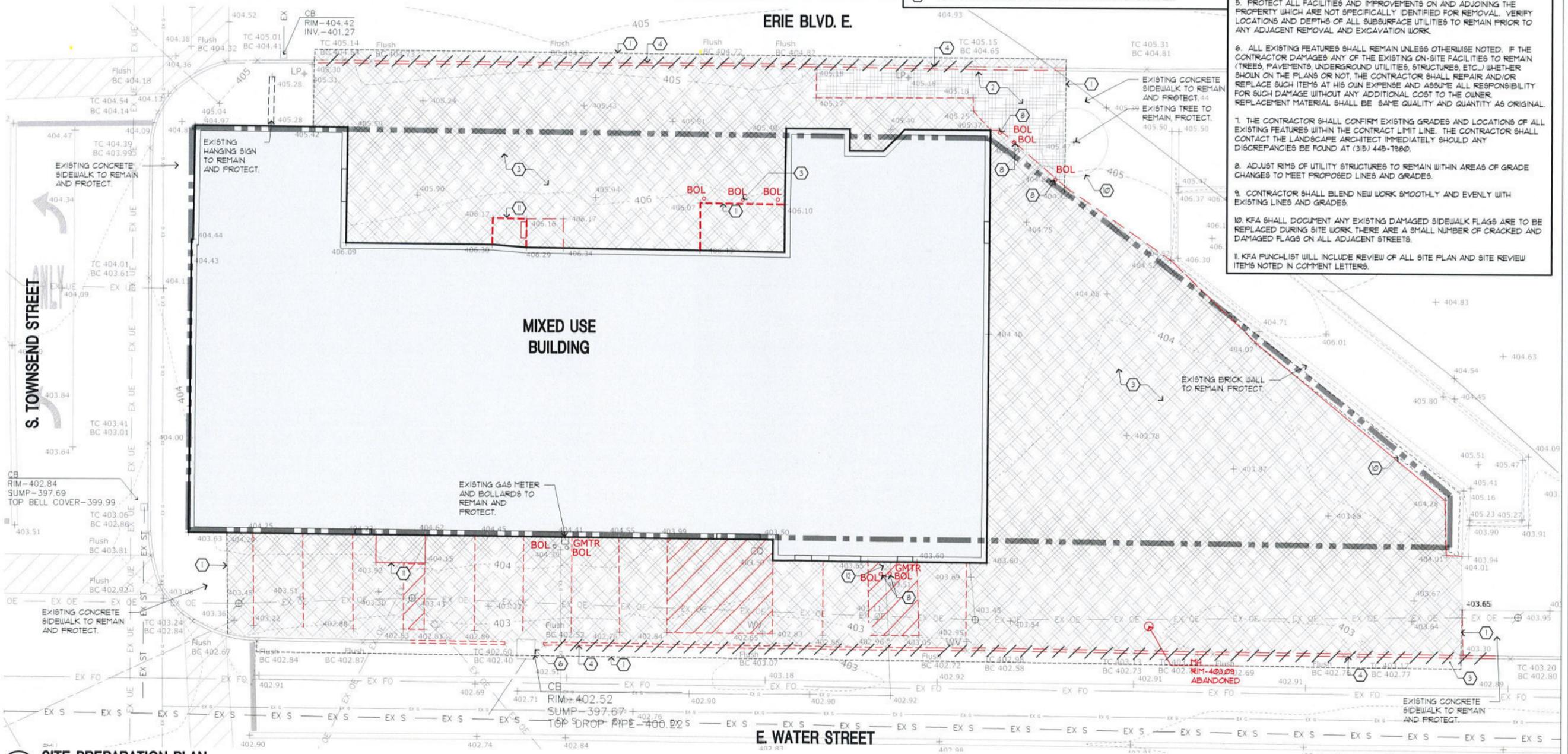
EXISTING	PROPOSED	DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION
---	---	CONTOUR	○	○	INLET
+377.7	---	SPOT ELEVATION	○	○	CATCH BASIN/MANHOLE
CT/CE	---	CURB TAPER/END	○	○	CLEAN OUT
TC/BC	---	TOP/BOTTOM OF CURB	○	○	SANITARY MANHOLE
HP/LP	---	HIGH / LOW POINT	---	---	ASPHALT PAVEMENT-PARKING
TF-2	---	TEST PIT	---	---	ASPHALT PAVEMENT-DRIVE
B-1	---	BORING (SEE SPECIFICATIONS FOR BORING INFO)	---	---	CONCRETE PAVEMENT
---	---	FENCE	---	---	SAFETY SURFACING
---	---	UTILITY POLE	---	---	TRAFFIC SIGN
---	---	WATER LINE	---	---	TRAFFIC SIGN - SET IN BOLLARD
---	---	FIRE HYDRANT	---	---	TRAFFIC SIGN - MOVABLE
---	---	STORM PIPE	---	---	LIGHT POLE (SEE ELECTRICAL PLANS FOR WIRING)
---	---	UNDERDRAIN	---	---	CURB
---	---	SANITARY PIPE	---	---	CURB FLUSH (1" REVEAL UNLESS OTHERWISE NOTED)
---	---	OVERHEAD ELECTRIC	---	---	SILT FENCE
---	---	UNDERGROUND ELECTRIC	---	---	TREE
---	---	TELEPHONE	---	---	SHRUB
---	---	STORM STRUCTURE	---	---	PLANT KEY
---	---		---	---	VEGETATION

**EXISTING CONDITIONS & SITE PREPARATION NOTES**

- CLL --- CONTRACT LIMIT LINE
- REMOVE EXISTING PAVEMENTS - SEE NOTES 3 & 4 BELOW
- SAWCUT ASPHALT OR CONCRETE PAVEMENT. SAWCUT ASPHALT IN NEAT STRAIGHT LINE AND SAWCUT CONCRETE PAVEMENT AT NEAREST SCORE JOINT.
  - REMOVE EXISTING CONCRETE PAVEMENT.
  - REMOVE ASPHALT PAVEMENT INCLUDING BASE MATERIAL AND DISPOSE OF OFF SITE.
  - REMOVE EXISTING GRANITE CURBING.
  - REMOVE EXISTING CONCRETE STAIRS, FOOTINGS AND RAILINGS.
  - ADJUST EXISTING STRUCTURES FRAME AND COVER/GRATE TO FINISH GRADE PER GRADING PLAN.
  - UTILITY POLE TO REMAIN, PROTECT.
  - REMOVE EXISTING BOLLARDS AND FOOTINGS.
  - SITING CONTRACTOR TO PERFORM ALL REMOVALS NOTED BELOW BUILDING AS DIRECTED BY GENERAL CONTRACTOR.
  - REMOVE EXISTING VEGETATION AND ROOTS IN THEIR ENTIRETY.
  - SITE WORK CONTRACTOR TO COORDINATE REMOVALS WITH ARCHITECTURAL DRAWINGS.
  - GAS METER TO BE REMOVED AND RELOCATED PER MEP DRAWINGS.

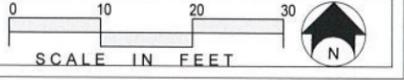
**GENERAL NOTES**

- TOPOGRAPHIC AND BOUNDARY SURVEY PREPARED BY C.T. MALE ASSOCIATES SURVEYORS, D.P.C. SYRACUSE, NY, DATED JUNE 13, 2019.
- OWNER AND ARCHITECT DO NOT CONFIRM THE COMPLETENESS OR ACCURACY OF SUCH INFORMATION. CONTRACTOR IS RESPONSIBLE FOR THOROUGH EXAMINATION AND VERIFICATION OF ALL EXISTING SURFACE AND SUBSURFACE CONDITIONS AFFECTING THE NATURE, SCOPE, COMPLEXITY AND COST OF THE CONTRACT WORK. ADDITIONAL INFORMATION ON EXISTING CONDITIONS HAS BEEN ADDED TO THE DRAWINGS BASED ON THE LANDSCAPE ARCHITECT'S OBSERVATIONS BUT IS NOT INTENDED TO AND DOES NOT ALTER THE SURVEY INFORMATION. REFER TO SURVEY NOTES FOR ADDITIONAL INFORMATION.
- COORDINATE REMOVALS WITH PHASING PLANS AND ARCHITECTURAL PLANS WHICH SHOW BUILDING DEMOLITION, RECONSTRUCTION, AND ADDITIONS.
- SAW CUT FOR PAVING REMOVALS. EXTEND REMOVAL LINES TO INCLUDE ANY ADJOINING BROKEN OR DETERIORATING PAVING. CAREFULLY REMOVE STOCKPILE AND PROTECT ANY ITEMS NOTED FOR SALVAGE. ALL DEMOLITION RUBBLE, DEBRIS AND EXCESS SOILS TO BE PROMPTLY REMOVED FROM SITE. STRIP AND STOCKPILE SUFFICIENT ORGANIC TOPSOILS FOR RESPREADING AS REQUIRED ON DISTURBED AND REGRADED AREAS TO BE ESTABLISHED AS LAWN AND FOR REPAIR OF DISTURBED EXISTING LAWNS TO REMAIN. STOCKPILE ALL MATERIALS IN APPROVED LOCATIONS WITHOUT INTERFERING WITH OTHER CONTRACTOR WORK, SCHOOL TRAFFIC OR DRAINAGE.
- ALL FILL/BACKFILL OF EXCAVATIONS AND VOIDS RESULTING FROM REMOVALS AND RELATED WORK UNDER PROPOSED OR REPLACEMENT PAVING AREAS SHALL ONLY BE COARSE AGGREGATE FILL OR SUBBASE COURSE MATERIAL THOROUGHLY COMPACTED.
- PROTECT ALL FACILITIES AND IMPROVEMENTS ON AND ADJOINING THE PROPERTY WHICH ARE NOT SPECIFICALLY IDENTIFIED FOR REMOVAL. VERIFY LOCATIONS AND DEPTHS OF ALL SUBSURFACE UTILITIES TO REMAIN PRIOR TO ANY ADJACENT REMOVAL AND EXCAVATION WORK.
- ALL EXISTING FEATURES SHALL REMAIN UNLESS OTHERWISE NOTED. IF THE CONTRACTOR DAMAGES ANY OF THE EXISTING ON-SITE FACILITIES TO REMAIN (TREES, PAVEMENTS, UNDERGROUND UTILITIES, STRUCTURES, ETC.) WHETHER SHOWN ON THE PLANS OR NOT, THE CONTRACTOR SHALL REPAIR AND/OR REPLACE SUCH ITEMS AT HIS OWN EXPENSE AND ASSUME ALL RESPONSIBILITY FOR SUCH DAMAGE WITHOUT ANY ADDITIONAL COST TO THE OWNER. REPLACEMENT MATERIAL SHALL BE SAME QUALITY AND QUANTITY AS ORIGINAL.
- THE CONTRACTOR SHALL CONFIRM EXISTING GRADES AND LOCATIONS OF ALL EXISTING FEATURES WITHIN THE CONTRACT LIMIT LINE. THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND AT (315) 445-1980.
- ADJUST RIMS OF UTILITY STRUCTURES TO REMAIN WITHIN AREAS OF GRADE CHANGES TO MEET PROPOSED LINES AND GRADES.
- CONTRACTOR SHALL BLEND NEW WORK SMOOTHLY AND EVENLY WITH EXISTING LINES AND GRADES.
- KFA SHALL DOCUMENT ANY EXISTING DAMAGED SIDEWALK FLAGS ARE TO BE REPLACED DURING SITE WORK. THERE ARE A SMALL NUMBER OF CRACKED AND DAMAGED FLAGS ON ALL ADJACENT STREETS.
- KFA PUNCHLIST WILL INCLUDE REVIEW OF ALL SITE PLAN AND SITE REVIEW ITEMS NOTED IN COMMENT LETTERS.

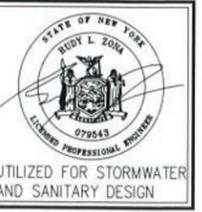


**1 SITE PREPARATION PLAN**

L-100



**KEPLINGER FREEMAN ASSOCIATES**  
 LANDSCAPE ARCHITECTURE & LAND PLANNING  
 6320 FLY ROAD, SUITE 105 EAST SYRACUSE, NEW YORK 13207  
 PHONE: (315) 445-1980 FAX: (315) 445-1981  
**RZ Engineering, PLLC**  
 6320 FLY ROAD SUITE 105  
 EAST SYRACUSE, NY 13207  
 PH: 315-432-1089 FAX: 315-445-1981



**UTILIZED FOR STORMWATER AND SANITARY DESIGN**

**SMITH MIXED USE BUILDING and SITE REDEVELOPMENT**  
**500 E. ERIE BLVD., CITY OF SYRACUSE, NY**

**REVISIONS**

NO.	DATE	DESCRIPTION

Drawn By: V.E.R.  
 Checked By: S.L.F.  
 KFA Proj. No.: 39075  
 Date: FEBRUARY 05, 2020  
 Scale: AS NOTED  
 Title: SITE PREPARATION PLAN

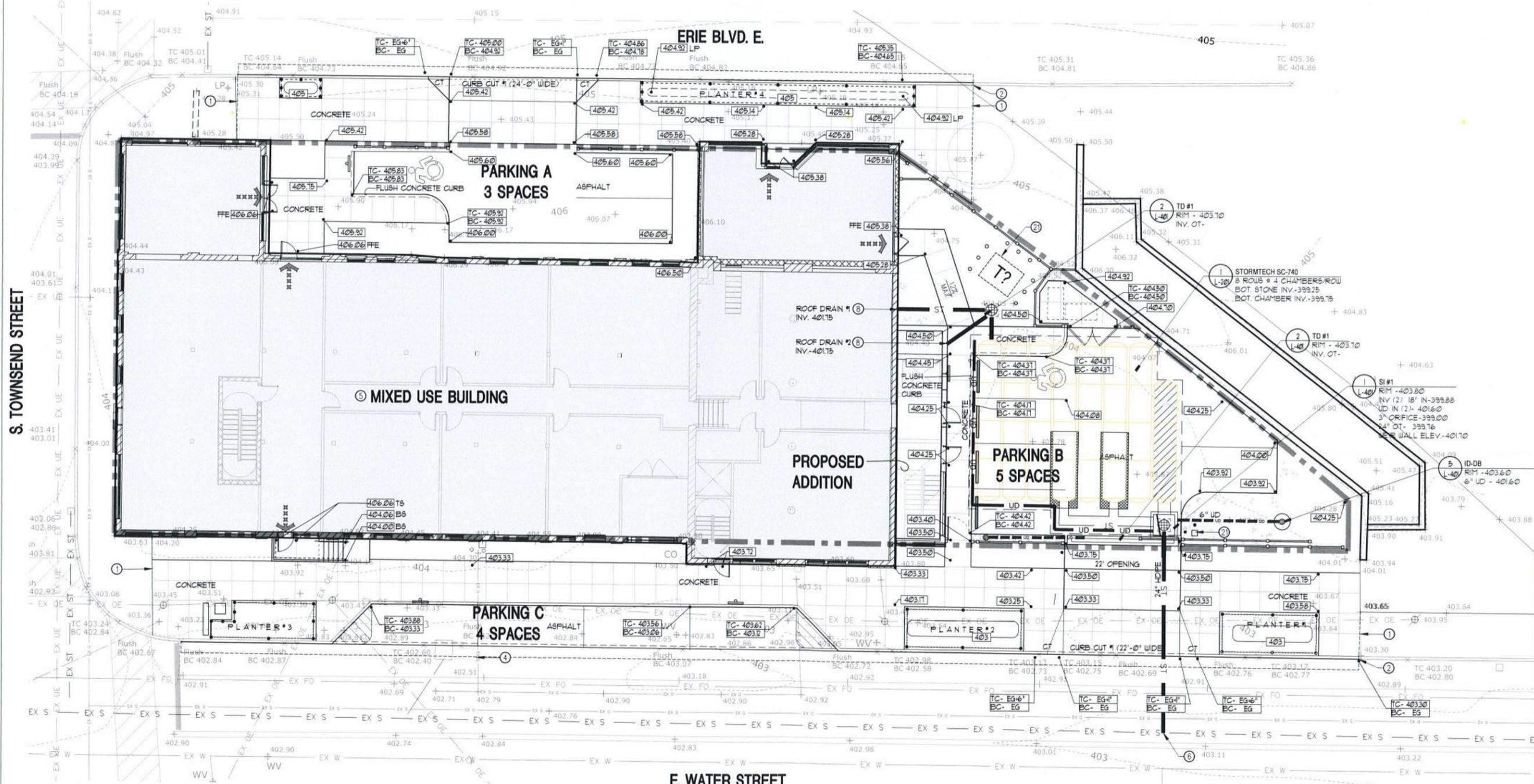
**L-100**

**GRADING, DRAINAGE & UTILITY GENERAL NOTES**

1. ANY/ALL FILL REQUIRED BELOW PAVING SUBGRADE SHALL ONLY BE COARSE AGGREGATE FILL OR SUBBASE COURSE MATERIALS.
2. WHEREVER EXISTING STORM STRUCTURES ARE TO BE ABANDONED AND REMOVED, CUT AND PLUG CONNECTING PIPES AND/OR REMOVE PORTIONS OF PIPES WHICH MAY INTERFERE WITH OTHER WORK.
3. ALL CONCRETE PAVING AT ALL EXISTING AND NEW DOORS SHALL BE FLUSH WITH BUILDING FLOOR ELEVATION. CONCRETE PAVEMENT SHALL BE DOWELED TO FOUNDATION WALL PER DETAILS.

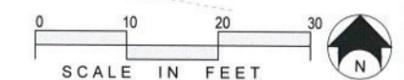
**GRADING, DRAINAGE & UTILITY NOTES**

1. MEET EXISTING LINE AND GRADE.
2. ALIGN PROPOSED CURB TO MEET TOP AND FACE OF EXISTING GRANITE CURB.
3. CORE OPENING INTO EXISTING PIPE WITH WATER TIGHT CONNECTION.
4. EXISTING GAS LATERAL, METER, AND BOLLARDS TO REMAIN, PROTECT (MEP CONFIRM?).
5. EXISTING SANITARY LATERAL VENT AND TRAP TO REMAIN, PROTECT (MEP CONFIRM?, LOCATION?).
6. CONNECT TO EXISTING x" COMBINED SANITARY PIPE.
7. SANITARY LATERALS PER MEP PLUMBING PLANS.
8. ROOF LEADERS PER MEP PLUMBING PLANS.
9. INSTALL ROOF LEADER CLEANOUT PER DETAIL x/L-401?
10. INSTALL SANITARY VENT & TRAP PER DETAIL x/L-400?
11. INSTALL SANITARY CLEANOUT PER DETAIL x/L-400?
12. INSTALL 4" WATER LINE SHOWN FOR COORDINATION PURPOSES ONLY. REFER TO MEP DRAWINGS FOR LOCATION AT BUILDING OR EXISTING WATER?
13. INSTALL PROPOSED 2" GAS AND CONNECT TO EXISTING GAS LATERAL AS SHOWN. REFER TO MEP DRAWINGS FOR LOCATION AT BUILDING. COORDINATE CONNECTION WITH NATIONAL GRID?
14. INSTALL CURB STOP OR GATE VALVE (PENDING MEP DESIGN) PER DETAIL 2/L-402. MEP TO PROVIDE CONNECTION REQUIREMENTS FOR DOMESTIC WATER AND FIRE PROTECTION?
15. COORDINATE WATER CONNECTION WITH CITY OF SYRACUSE DEPARTMENT OF WATER (315-448-8340)?
16. INSTALL FIRE DEPT. CONNECTION AT BUILDING PER CITY OF SYRACUSE AND MEP. LOCATION SHOWN FOR COORDINATION PURPOSES ONLY. SYRACUSE FIRE DEPARTMENT TO APPROVE FINAL LOCATION (ELTON DAVIS - 315-448-4111).
17. FIRE DEPARTMENT TO INSPECT 'DRIVE THRU' PRIOR TO FINAL PAVING AND CURBING INSTALLATION. CONTACT CITY FIRE DEPARTMENT (ELTON DAVIS - 315-448-4111).
18. INSTALL KNOX BOX PER ARCHITECTURAL DRAWINGS. SYRACUSE FIRE DEPARTMENT TO APPROVE FINAL LOCATION (ELTON DAVIS - 315-448-4111).
19. INSTALL LIGHTING POLES, BASES, WIRING, AND POWER PER ELECTRICAL PLANS.
20. SITEWORK CONTRACTOR TO COORDINATE AND INSTALL GATE OPERATOR, POWER SUPPLY, GATE LOOPS, AND OTHER ACCESSORIES PER ELECTRICAL AND LIGHTING DRAWINGS.
21. TRANSFORMER PAD AND BOLLARDS ARE SHOWN FOR COORDINATION PURPOSES ONLY. REFER TO ELECTRICAL/ MEP DRAWINGS. (MEP CONFIRM?).
22. CONTRACTOR TO PROVIDE CITY OF SYRACUSE APPROVED TRAFFIC CONTROL MEASURES AND FLAGGING.
23. INSTALL 'BEE-HIVE' GRATE (MODEL # OR APPROVED EQUAL) FOR STORM INLET LOCATION.



**1 GRADING AND DRAINAGE PLAN**

L-200



**SMITH MIXED USE BUILDING and SITE REDEVELOPMENT**  
**500 E. ERIE BLVD., CITY OF SYRACUSE, NY**

REVISIONS	

Drawn By: V.E.R.  
 Checked By: S.L.F.  
 KFA Proj. No.: 39075  
 Date: FEBRUARY 05, 2020  
 Scale: AS NOTED  
 Title:

**GRADING AND DRAINAGE PLAN**

**L-200**



**LAYOUT CONSTRUCTION NOTES**

- |  |  |
|--|--|
| 1 PAINT 4" WIDE YELLOW LINES (TYP.)  | 17 INSTALL ASPHALT PAVEMENT PER DETAIL 1/L-400.                      |
| 2 PAINT 4" WIDE YELLOW LINES 2'-0" O.C. @ 45°  | 18 INSTALL CONCRETE PAD AT ENTRY PER DETAIL 1/L-400.                 |
| 3 BUILDING ADDITION LAYOUT SHALL BE PARALLEL AND PERPENDICULAR TO PROPERTY LINE.   | 19 OMITTED   |
| 4 PAINT RESERVED PARKING STALLS PER DETAIL 10/L-401  | 20 INSTALL CONCRETE PAVEMENT W/ FLUSH CURB PER DETAIL 14/L-400.      |
| 5 INSTALL SIGN BOLLARDS PER DETAIL 9/L-401   | 21 INSTALL BENCH PER DETAIL 3/L-402.                                 |
| 6 INSTALL CITY OF SYRACUSE ASPHALT PAVEMENT DETAIL PER XL-401.   | 22 INSTALL BUILDING SIGNAGE PER ARCHITECTURAL DRAWINGS.              |
| 7 INSTALL CITY OF SYRACUSE CONCRETE PAVEMENT (PEDESTRIAN) PER DETAIL 13/L-400.   | 23 INSTALL BICYCLE REPAIR STATION PER DETAIL XXX.                    |
| 8 INSTALL CITY OF SYRACUSE CONCRETE PAVEMENT (VEHICULAR) PER DETAIL 17/L-400.  | 24 INSTALL CITY OF SYRACUSE ASPHALT REPLACEMENT PER DETAIL 9/L-400.  |
| 9 INSTALL POST AND CHAIN PER DETAIL 2/L-402.   | 25 INSTALL CITY OF SYRACUSE GRANITE CURB REPLACEMENT PER DETAIL XXX. |
| 10 INSTALL BIKE RACKS PER DETAIL 1/L-401 FOR VISITOR USE. BIKE RACKS TO BE INSTALLED ON INSIDE OF BUILDING FOR TENANT USE. | 26 INSTALL BOLLARD PER DETAIL XXX.                                   |
| 11 INSTALL VINYL 6' FENCE PER DETAIL 4/L-402.  | 27 INSTALL AMERISTAR ECHOLON PLUS PER DETAIL XXX.                    |
|  | 28 INSTALL WHEEL STOP PER DETAIL XXX.                                |

**PLANT LIST**

KEY	COMMON NAME	BOTANICAL NAME	CALIPER	TREE HT	BRANCH HT	CONDITION
<b>TREES</b>						
Ac	SHADBUSH SERVICEBERRY	AMELANCHIER CANADENSIS	2.5" CAL.	-	6' - 8'	-
Gld	STREETKEEPER COLUMNAR HONEYLOCUST	GLEDITSIA TRIACANTHOS INERMIS 'DRAVES'	2.5" CAL.	-	6' - 8'	-
Qb	SWAMP WHITE OAK	QUERCUS BICOLOR	2.5" CAL.	-	6' - 8'	-
<b>EVERGREENS</b>						
Tm	'DENSIFORMIS' YEW	TAXUS MEDIA 'DENSIFORMIS'	-	3 GAL.	-	---
To	'EMERALD GREEN' ARBORVITAE	THUJA OCCIDENTALIS 'EMERALD GREEN'	-	4'-5'	-	---
<b>SHRUBS</b>						
Cs	'KELSEY' RED OSIER DOGWOOD	CORNUS SERICEA 'KELSEYLL'	--	2 GAL.	-	---
Hpl	LITTLE LIME HYDRANGEA	HYDRANGEA PANICULATA 'LITTLE LIME'	3.5" - 4.5"	3 GAL.	-	---
Mp	MORTON NORTHERN BAYBERRY	MYRICA PENNSYLVANICA SILVER SPRITE 'MORTON'	--	2 GAL.	-	---
Sj	GOLDFLAME SPIREA	SPIREA JAPONICA 'GOLDFLAME'	--	2 GAL.	-	---
<b>PERENNIALS and GRASSES</b>						
G-Av	BROOMSEDGE	ANDROPOGON VIRGINICUS	--	1 GAL.	-	-
G-CI	NORTHERN SEA OATS	CHASMANTHIUM LATIFOLIUM	--	1 GAL.	-	-
G-Cv	FOX SEDGE	CAREX VULPINOIDEA	--	1 GAL.	-	-
Lm	LILYTURT	LIRIOPE MUSCARI	--	1 GAL.	-	-
Po	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	--	1 GAL.	-	-
Rh	BLACK EYED SUSAN	RUDEBECKIA HIRTA	--	1 GAL.	-	-

**PLANT NOTES**

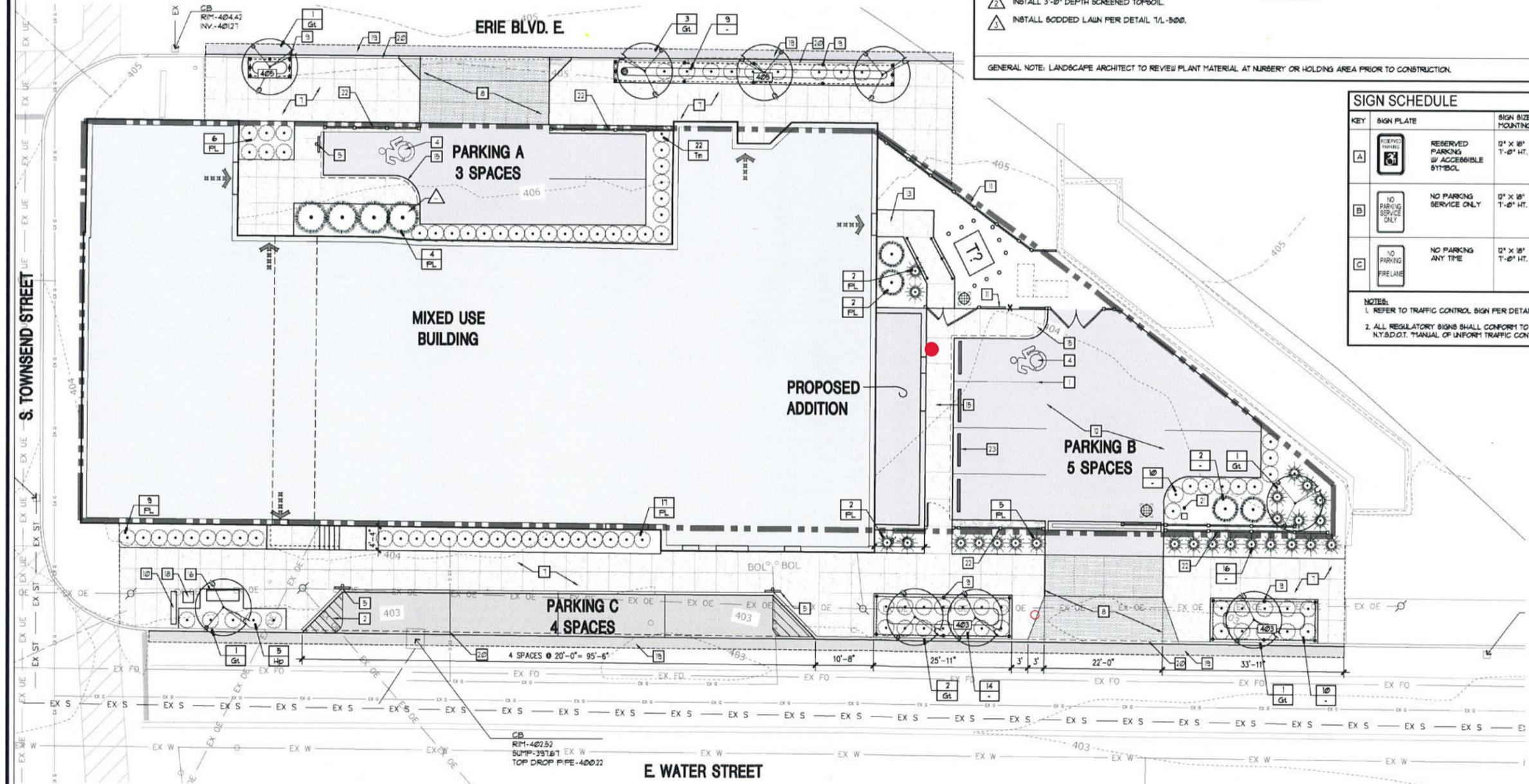
- 1 3" DEPTH 3/8" REDUCED BARK MULCH WITH 18" OF SCREENED TOPSOIL.
- 2 INSTALL 3'-0" DEPTH SCREENED TOPSOIL.
- 3 INSTALL 6" DODGED LAWN PER DETAIL 1/L-500.
- 4 INSTALL TREE PIT PER DETAIL 9/L-500. CONTRACTOR TO COORDINATE TREE INSTALLATION WITH CITY ARBORIST, STEVE HARRIS.

GENERAL NOTE: LANDSCAPE ARCHITECT TO REVIEW PLANT MATERIAL AT NURSERY OR HOLDING AREA PRIOR TO CONSTRUCTION.

**SIGN SCHEDULE**

KEY	SIGN PLATE	SIGN SIZE MOUNTING HT.	NY&D.O.T. MUTCD NO. / COMMENTS
A	RESERVED PARKING	12" x 18" 1'-0" HT.	SIGN NO. P4-6 COLORS: WHITE BACKGROUND, BLUE ICON, GREEN TEXT/ BORDER. COMMENTS:
B	NO PARKING SERVICE ONLY	12" x 18" 1'-0" HT.	SIGN NO. - COLORS: WHITE BACKGROUND, RED TEXT AND BORDER.
C	NO PARKING ANY TIME	12" x 18" 1'-0" HT.	SIGN NO. FIGURE D103.6 OF APPENDIX D103.6.3 OF 2003 IFC. COLORS: WHITE BACKGROUND, RED TEXT AND BORDER.

- NOTES:  
 1 REFER TO TRAFFIC CONTROL SIGN PER DETAIL XL-401 FOR INSTALLATION.  
 2 ALL REGULATORY SIGNS SHALL CONFORM TO THE MOST CURRENT N.Y.&D.O.T. MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.



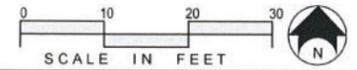
Client: \_\_\_\_\_

**SMITH MIXED USE BUILDING and SITE REDEVELOPMENT**  
 500 E. ERIE BLVD., CITY OF SYRACUSE, NY

**REVISIONS**


Drawn By: V.E.R.  
 Checked By: S.L.F.  
 KFA Proj. No.: 39075  
 Date: JANUARY 20, 2020  
 Scale: AS NOTED

LAYOUT PLAN



**SIGN SCHEDULE**

KEY	SIGN PLATE	SIGN SIZE MOUNTING HT.	NY S.D.O.T. M.U.T.C.D. NO. / COMMENTS
A	RESERVED PARKING PARKING W/ ACCESSIBLE SYMBOL	12" X 18" 7'-0" HT.	SIGN NO. P4-6 COLORS: WHITE BACKGROUND, BLUE ICON, GREEN TEXT/ BORDER COMMENTS:
B	NO PARKING SERVICE ONLY	12" X 18" 7'-0" HT.	SIGN NO. - COLORS: WHITE BACKGROUND, RED TEXT AND BORDER
C	NO PARKING ANY TIME	12" X 18" 7'-0" HT.	SIGN NO. FIGURE D103.6 OF APPENDIX D103.6.2 OF 2015 IFC COLORS: WHITE BACKGROUND, RED TEXT AND BORDER

NOTES:  
1. REFER TO TRAFFIC CONTROL SIGN PER DETAIL 9/L-401 FOR INSTALLATION.  
2. ALL REGULATORY SIGNS SHALL CONFORM TO THE MOST CURRENT NY S.D.O.T. MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

**LAYOUT CONSTRUCTION NOTES**

- PAINT 4" WIDE YELLOW LINES (TYP.)
- PAINT 4" WIDE YELLOW LINES 2'-0" O.C. @ 45°
- BUILDING ADDITION LAYOUT SHALL BE PARALLEL AND PERPENDICULAR TO PROPERTY LINE.
- PAINT RESERVED PARKING STALLS PER DETAIL 10/L-401.
- INSTALL SIGN PER DETAIL 9/L-401.
- INSTALL CITY OF SYRACUSE ASPHALT PAVEMENT DETAIL PER 8/L-400.
- INSTALL CITY OF SYRACUSE CONCRETE PAVEMENT (PEDESTRIAN) PER DETAIL 10/L-400.
- INSTALL CITY OF SYRACUSE CONCRETE PAVEMENT (VEHICULAR) PER DETAIL 12/L-400.
- INSTALL POST AND CHAIN PER DETAIL 3/L-402.
- INSTALL BIKE RACKS PER DETAIL 7/L-401 FOR VISITOR USE. BIKE RACKS TO BE INSTALLED ON INSIDE OF BUILDING FOR TENANT USE.
- INSTALL VINYL 6' FENCE PER DETAIL 4/L-402.
- INSTALL ASPHALT PAVEMENT PER DETAIL 7/L-400.
- INSTALL CONCRETE PAD AT ENTRY PER DETAIL 11/L-400.
- INSTALL WALL MOUNT RAILING PER DETAIL 7/L-402.
- INSTALL CONCRETE PAVEMENT W/ FLUSH CURB PER DETAIL 14/L-400.
- REFER TO WATER ST. STAIR DETAIL 1/L-402.

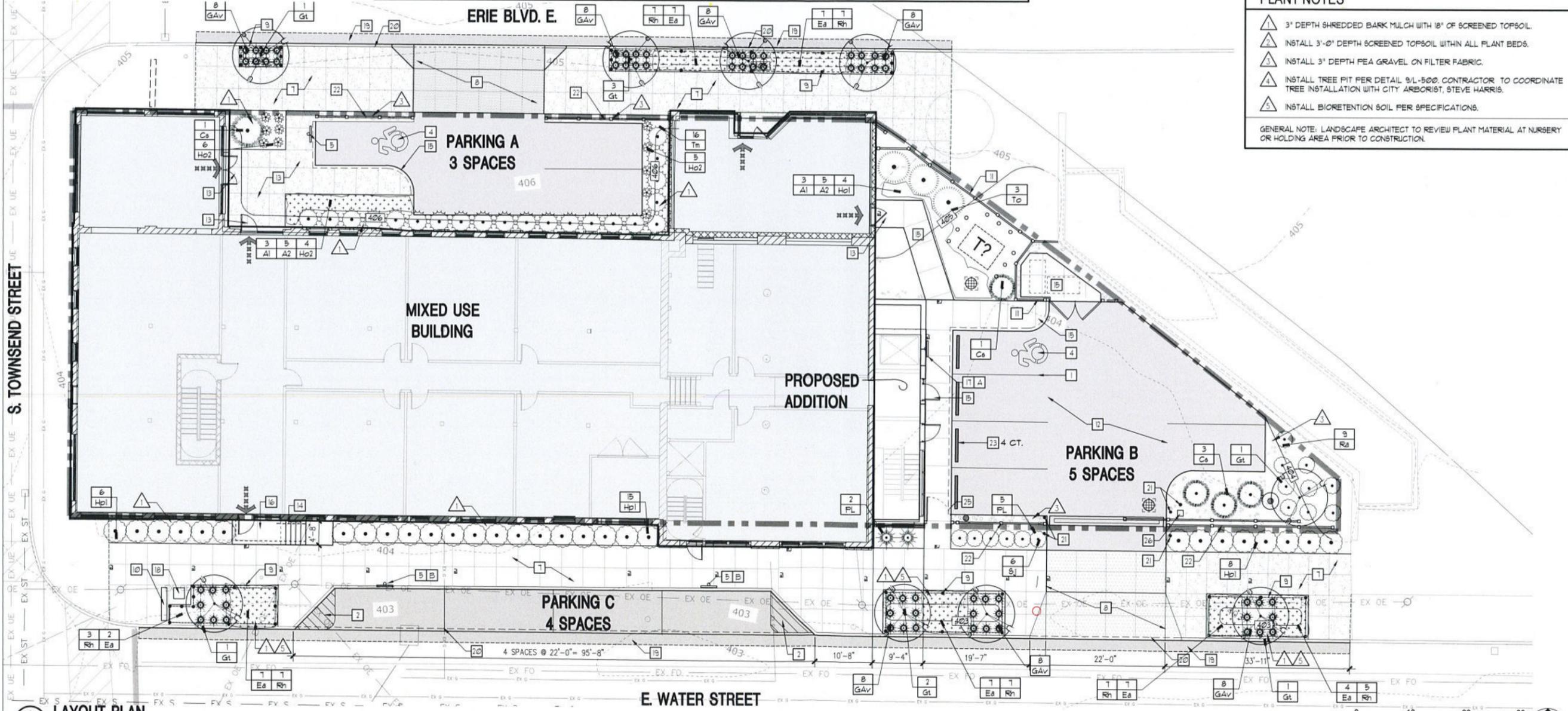
- MOUNT TRAFFIC SIGNAGE TO BUILDING FACE.
- INSTALL BICYCLE REPAIR STATION PER DETAIL 6/L-402.
- INSTALL CITY OF SYRACUSE ASPHALT REPLACEMENT PER DETAIL 9/L-400.
- INSTALL CITY OF SYRACUSE GRANITE CURB REPLACEMENT PER DETAIL 10/L-400.
- INSTALL BOLLARD PER DETAIL 8/L-401.
- INSTALL 6' ORNAMENTAL FENCE PER DETAIL 15/L-401.
- INSTALL WHEEL STOP PER DETAIL 5/L-402.
- INSTALL VEHICULAR AUTOMATIC SLIDE GATE PER DETAIL 1/L-403. REFER TO MEP DRAWINGS FOR POWER SUPPLY. ACCESSIBILITY OPTIONS SHALL BE REVIEWED WITH OWNER AND DOCUMENTED WITHIN A SUBMITTAL FOR REVIEW PRIOR TO CONSTRUCTION. CONTRACTOR TO PROVIDE MANUFACTURER'S PRODUCT DATA AND SHOP DRAWINGS SUBMITTALS FOR REVIEW. REFER TO SPECIFICATIONS. (CONTACT JOSEPH KISELICA - 315-635-0098).
- INSTALL 6' HT. PEDESTRIAN AUTOMATIC CLOSE SWING GATE PER DETAIL 2/L-403. REFER TO MEP DRAWINGS FOR POWER SUPPLY. ACCESSIBILITY OPTIONS SHALL BE REVIEWED WITH OWNER AND DOCUMENTED WITHIN A SUBMITTAL FOR REVIEW PRIOR TO CONSTRUCTION. CONTRACTOR TO PROVIDE MANUFACTURER'S PRODUCT DATA AND SHOP DRAWINGS SUBMITTALS FOR REVIEW. REFER TO SPECIFICATIONS. (CONTACT JOSEPH KISELICA - 315-635-0098).
- GATE CONTROLLER SUPPLIED BY FENCE INSTALLER MEP TO PROVIDE POWER AND COORDINATE ACCESS OPTIONS. FULL SUBMITTAL REQUIRED FOR REVIEW WITH PAULUS DEVELOPMENT PRIOR TO CONSTRUCTION. REFER TO SPECIFICATIONS. (CONTACT JOSEPH KISELICA - 315-635-0098).

**PLANT LIST**

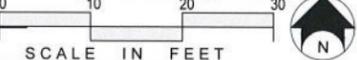
KEY	COMMON NAME	BOTANICAL NAME	CALIPER	TREE HT.
<b>TREES</b>				
Ac	SHADBUSH SERVICEBERRY	AMELANCHIER CANADENSIS	2.5" CAL.	6'-8'
Gld	STREETKEEPER COLUMNAR HONEYLOCUST	GLEDITSIA TRIACANTHOS INERMIS 'DRAVES'	2.5" CAL.	6'-8'
Ob	SWAMP WHITE OAK	QUERCUS BICOLOR	2.5" CAL.	6'-8'
<b>EVERGREENS</b>				
Tm	'DENSIFORMIS' YEWE	TAXUS MEDIA 'DENSIFORMIS'	-	3 GAL.
To	'EMERALD GREEN' ARBORVITAE	THUJA OCCIDENTALIS 'EMERALD GREEN'	-	4'-5'
<b>SHRUBS</b>				
Cs	'KELSEY' RED OSIER DOGWOOD	CORNUS SERICEA 'KELSEYLL'	--	2 GAL.
Hpl	LITTLE LIME HYDRANGEA	HYDRANGEA PANICULATA 'LITTLE LIME'	3.5' - 4.5'	3 GAL.
Mp	MORTON NORTHERN BAYBERRY	MYRICA PENNSYLVANICA SILVER SPRITE 'MORTON'	--	2 GAL.
Ra	'GRO-LOW' SUMAC	RHUS AROMATICA 'GRO-LOW'	--	2 GAL.
Sj	GOLDFLAME SPIREA	SPIREA JAPONICA 'GOLDFLAME'	--	2 GAL.
<b>PERENNIALS and GRASSES</b>				
G-Av	BROOMSEDGE	ANDROPOGON VIRGINICUS	--	1 GAL.
G-Ci	NORTHERN SEA OATS	CHASMANTHIUM LATIFOLIUM	--	1 GAL.
G-Cv	FOX SEDGE	CAREX VULPINOIDEA	--	1 GAL.
As1	ASTILE	ASTILE 'DEUTCHLAND'	--	1 GAL.
As2	ASTILE	ASTILE 'FANAL'	--	1 GAL.
Ep	PURPLE CONEFLOWER	ECHINACEA PURPUREA	--	1 GAL.
Ho1	HOSTA (part shade)	HOSTA 'AUGUST MOON'	--	1 GAL.
Ho2	HOSTA (deep shade)	HOSTA 'FRANCES WILLIAMS'	--	1 GAL.
Lm	LILYTURF	LIRIOPE MUSCARI	--	1 GAL.
Rh	BLACK EYED SUSAN	RUDEBECKIA HIRTA	--	1 GAL.

**PLANT NOTES**

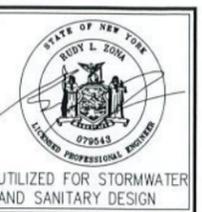
- 3" DEPTH SHREDDED BARK MULCH WITH 18" OF SCREENED TOPSOIL.
  - INSTALL 3'-0" DEPTH SCREENED TOPSOIL WITHIN ALL PLANT BEDS.
  - INSTALL 3" DEPTH PEA GRAVEL ON FILTER FABRIC.
  - INSTALL TREE PIT PER DETAIL 9/L-500. CONTRACTOR TO COORDINATE TREE INSTALLATION WITH CITY ARBORIST, STEVE HARRIS.
  - INSTALL BIORETENTION SOIL PER SPECIFICATIONS.
- GENERAL NOTE: LANDSCAPE ARCHITECT TO REVIEW PLANT MATERIAL AT NURSERY OR HOLDING AREA PRIOR TO CONSTRUCTION.



**1 LAYOUT PLAN**



**KEPLINGER FREEMAN ASSOCIATES**  
LANDSCAPE ARCHITECTURE & LAND PLANNING  
430 RLY ROAD, SUITE 100, EAST SYRACUSE, NEW YORK 13057  
PHONE: (315) 445-1900 FAX: (315) 445-7001  
**RZ Engineering, PLLC**  
430 RLY ROAD, SUITE 100, EAST SYRACUSE, NY 13057  
PH: 315.432.1089 FAX: 315.445.7981



UTILIZED FOR STORMWATER AND SANITARY DESIGN

**SMITH MIXED USE BUILDING and SITE REDEVELOPMENT**  
500 E. ERIE BLVD., CITY OF SYRACUSE, NY

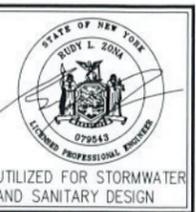
**REVISIONS**

NO.	DATE	DESCRIPTION

Drawn By: V.E.R.  
Checked By: S.L.F.  
KFA Proj. No: 39075  
Date: FEBRUARY 05, 2020  
Scale: AS NOTED

Title: **LAYOUT AND PLANTING PLAN**

**L-300**



UTILIZED FOR STORMWATER AND SANITARY DESIGN

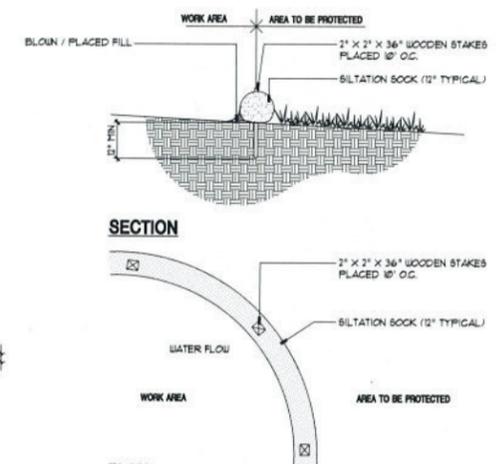
**SMITH MIXED USE BUILDING and SITE REDEVELOPMENT**  
**500 E. ERIE BLVD., CITY OF SYRACUSE, NY**

REVISIONS	

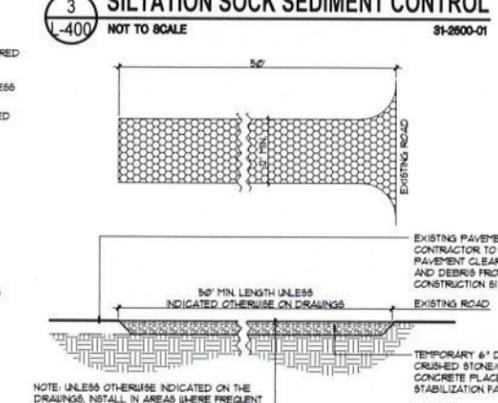
Drawn By: V.E.R.  
 Checked By: S.L.F.  
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DETAILS

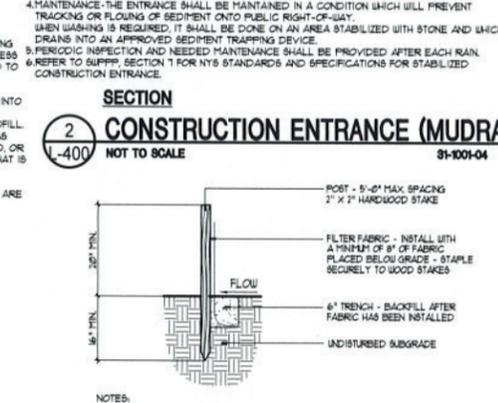
**L-400**



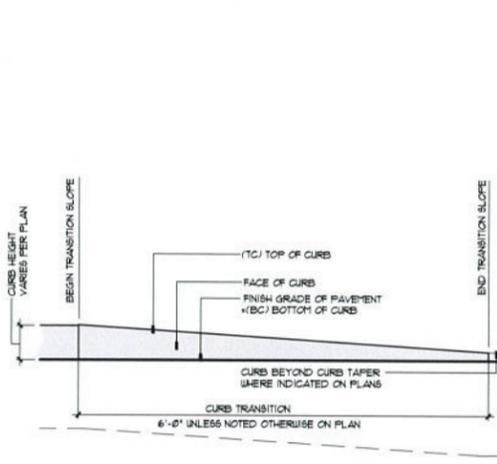
**1 SILT FENCE (SF)**  
 NOT TO SCALE  
 81-1001-01



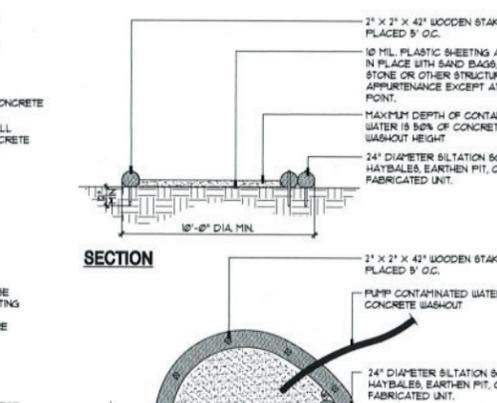
**2 CONSTRUCTION ENTRANCE (MUDRACK)**  
 NOT TO SCALE  
 81-1001-04



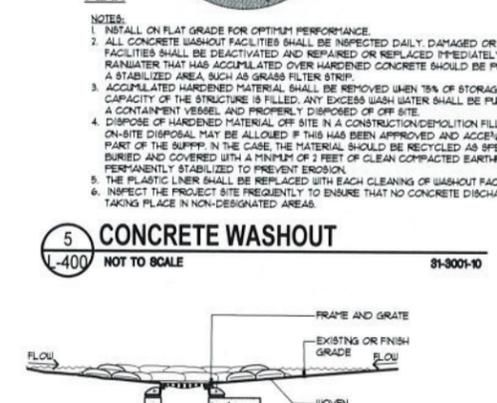
**3 SILTATION SOCK SEDIMENT CONTROL**  
 NOT TO SCALE  
 81-2600-01



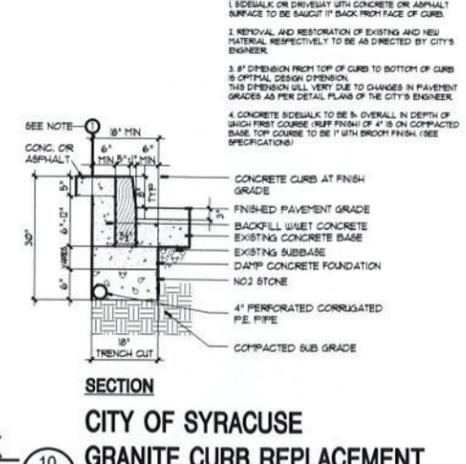
**4 DRAINAGE STRUCTURE PROTECTION**  
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 81-1001-02



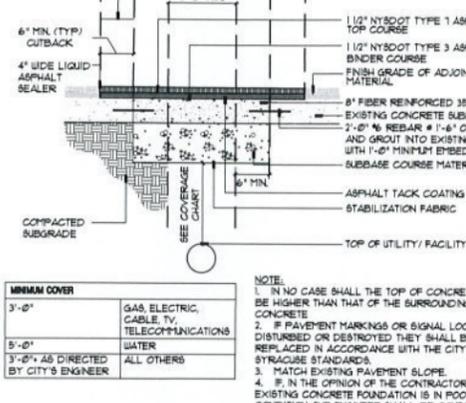
**5 CONCRETE WASHOUT**  
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 81-3001-10



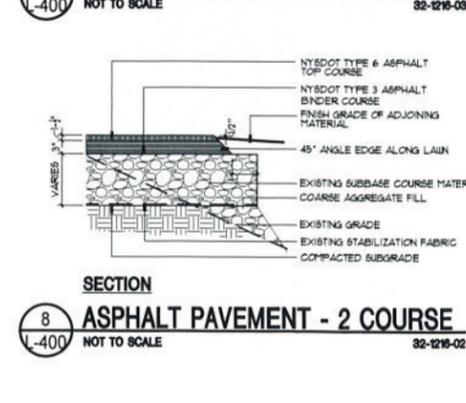
**6 CURB ENDING/TAPER (CE/CT)**  
 NOT TO SCALE  
 82-1818-07



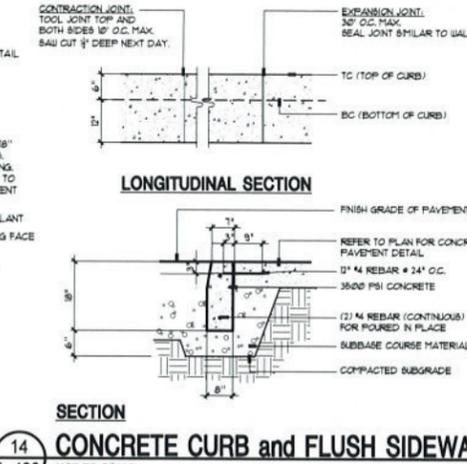
**10 CITY OF SYRACUSE GRANITE CURB REPLACEMENT**  
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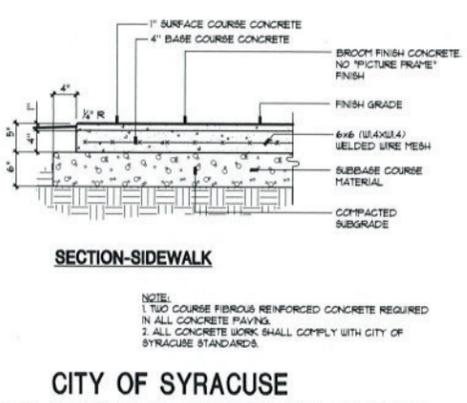
**9 ASPHALT REPAIR - CONCRETE BASE CITY OF SYRACUSE**  
 NOT TO SCALE  
 82-1216-030



**8 ASPHALT PAVEMENT - 2 COURSE**  
 NOT TO SCALE  
 82-1216-02



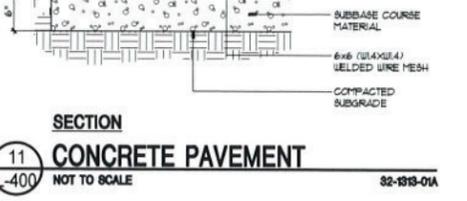
**14 CONCRETE CURB and FLUSH SIDEWALK**  
 NOT TO SCALE  
 82-1818-04C



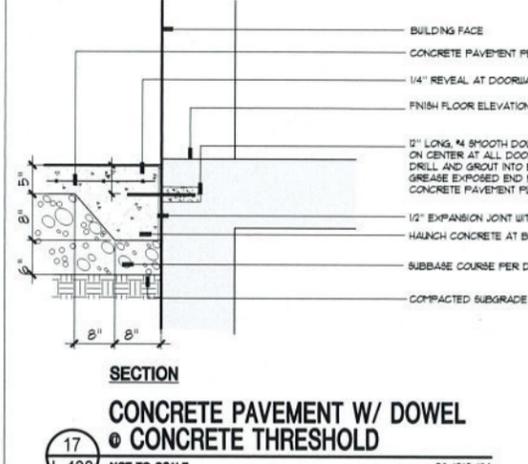
**13 CITY OF SYRACUSE CONCRETE PAVEMENT - 2 POUR**  
 NOT TO SCALE  
 82-1818-02A



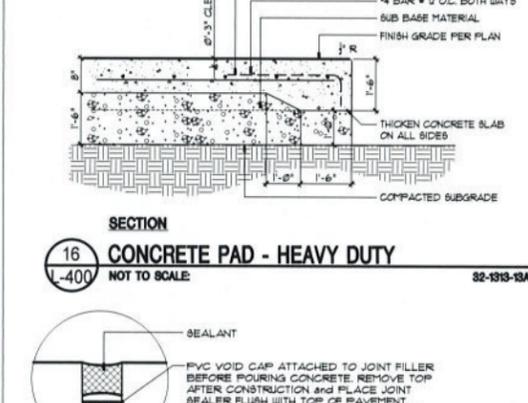
**12 CITY OF SYRACUSE CONCRETE PAVEMENT - 2 POUR HEAVY DUTY (7")**  
 NOT TO SCALE  
 82-1818-02B



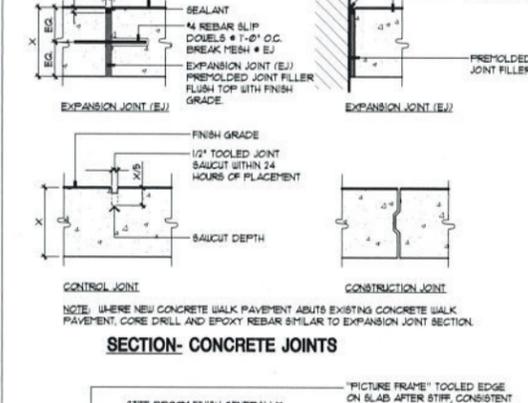
**11 CONCRETE PAVEMENT**  
 NOT TO SCALE  
 82-1818-01A



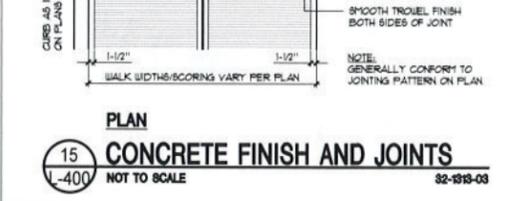
**17 CONCRETE PAVEMENT W/ DOWEL and CONCRETE THRESHOLD**  
 NOT TO SCALE  
 82-1818-10A



**16 CONCRETE PAD - HEAVY DUTY**  
 NOT TO SCALE  
 82-1818-18A



**15 CONCRETE FINISH AND JOINTS**  
 NOT TO SCALE  
 82-1818-03



**1 SILT FENCE (SF)**  
 NOT TO SCALE  
 81-1001-01

**NOTES:**  
 1. SIDEWALK OR DRIVEWAY WITH CONCRETE OR ASPHALT SURFACE TO BE SAUGHT 1" BACK FROM FACE OF CURB.  
 2. REMOVAL AND RESTORATION OF EXISTING AND NEW MATERIAL RESPECTIVELY TO BE AS DIRECTED BY CITY'S ENGINEER.  
 3. 3" DIMENSION FROM TOP OF CURB TO BOTTOM OF CURB IS OPTIMAL DESIGN DIMENSION. THIS DIMENSION WILL VARY DUE TO CHANGES IN PAVEMENT GRADES AS PER DETAIL PLANS OF THE CITY'S ENGINEER.  
 4. CONCRETE SIDEWALK TO BE 3" OVERALL IN DEPTH OF EACH FIRST COURSE (RUFF FINISH OF 4" IS ON COMPACTED BASE TOP COURSE TO BE 1" WITH BROOM FINISH. (SEE SPECIFICATIONS)

MINIMUM COVER	
3'-0"	GAS, ELECTRIC, CABLE, TV, TELECOMMUNICATIONS
5'-0"	WATER
3'-0" AS DIRECTED BY CITY'S ENGINEER	ALL OTHERS

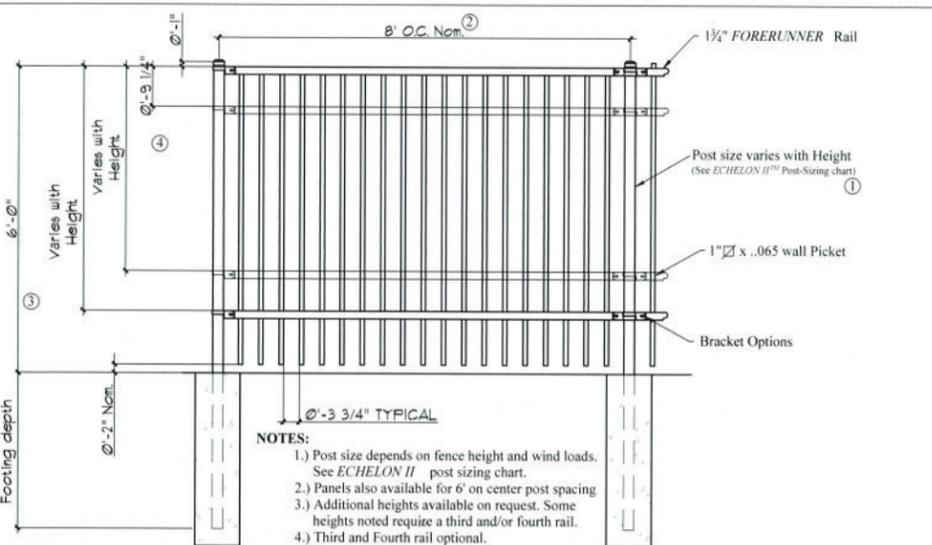
**NOTE:**  
 1. IN NO CASE SHALL THE TOP OF CONCRETE BASE BE HIGHER THAN THAT OF THE SURROUNDING EXISTING CONCRETE.  
 2. IF PAVEMENT MARKINGS OR SIGNAL LOOPS ARE DISTURBED OR DESTROYED THEY SHALL BE REPLACED IN ACCORDANCE WITH THE CITY OF SYRACUSE STANDARDS.  
 3. MATCH EXISTING PAVEMENT SLOPE.  
 4. IF, IN THE OPINION OF THE CONTRACTOR THE EXISTING CONCRETE FOUNDATION IS IN POOR CONDITION THE ENGINEER SHALL BE CONTACTED FOR PRIOR APPROVAL TO ELIMINATE DOUELS.

**NOTE:**  
 1. TWO COURSE FIBROUS REINFORCED CONCRETE REQUIRED IN ALL CONCRETE PAVING.  
 2. ALL CONCRETE WORK SHALL COMPLY WITH CITY OF SYRACUSE STANDARDS.

**NOTE:**  
 1. TWO COURSE FIBROUS REINFORCED CONCRETE REQUIRED IN ALL CONCRETE PAVING.

**NOTE:** WHERE NEW CONCRETE WALK PAVEMENT ADJUTS EXISTING CONCRETE WALK PAVEMENT, CORE DRILL AND EPOXY REBAR SIMILAR TO EXPANSION JOINT SECTION.

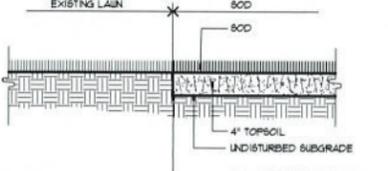
**NOTE:** WALK WIDTHS/SCORING VARY PER PLAN.  
**NOTE:** GENERALLY CONFORM TO JOINTING PATTERN ON PLAN.



**NOTES:**  
 1.) Post size depends on fence height and wind loads. See ECHELON II post sizing chart.  
 2.) Panels also available for 6' on center post spacing.  
 3.) Additional heights available on request. Some heights noted require a third and/or fourth rail.  
 4.) Third and Fourth rail optional.

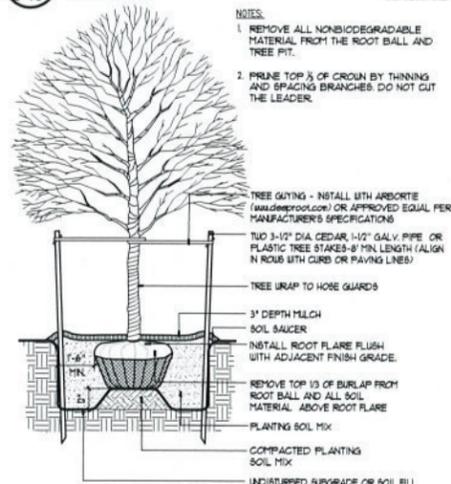
**NOTES:**  
 1. ECHELON II MAJESTIC RAIL FENCE WITH 2 1/2" POST 12 GA. POSTS TO BE UTILIZED FOR 4' HT. FENCE.  
 2. CONTRACTOR TO INSTALL RAIL FENCE AS MANUFACTURED BY AMERISTAR [www.ameristar.com](http://www.ameristar.com) OR APPROVED EQUAL. COLOR: BLACK.  
 3. CONTRACTOR TO PROVIDE MANUFACTURER'S PRODUCT DATA AND SHOP DRAWINGS SUBMITTALS FOR REVIEW. REFER TO SPECIFICATIONS. (CONTACT JOSEPH KIBELICA - 315-635-0098)

**15 ORNAMENTAL FENCE - MANUFACTURED - ECHELON II MAJESTIC**  
 L-401 NOT TO SCALE 32-3119-21A



**14 SODDED LAWN**  
 L-401 NOT TO SCALE 32-9200-01B

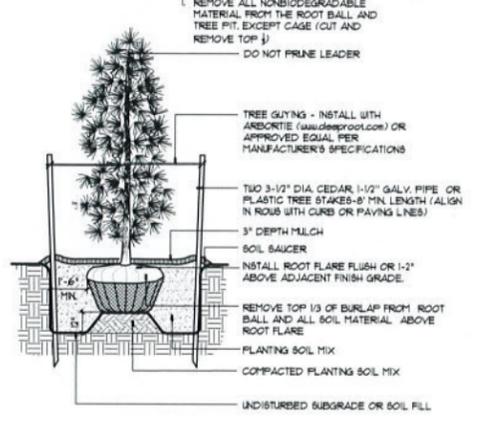
**NOTES:**  
 1. REMOVE ALL NONBIODEGRADABLE MATERIAL FROM THE ROOT BALL AND TREE FIT.  
 2. PRUNE TOP 1/3 OF CROWN BY THINNING AND BRACING BRANCHES. DO NOT CUT THE LEADER.



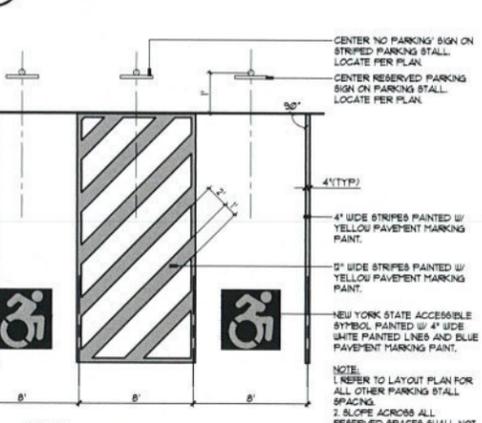
**13 TREE PLANTING**  
 L-401 NOT TO SCALE 32-9300-01

**NOTES:**  
 1. REMOVE ALL NONBIODEGRADABLE MATERIAL FROM THE ROOT BALL AND TREE FIT.  
 2. PRUNE TOP 1/3 OF ALL TOP GROWTH INCLUDING ALL BROKEN BRANCHES.  
 3. SPACE PLANTS WITHIN SHRUB BED AS SHOWN AND BASED ON NUMBER OF PLANTS REQUIRED.  
 4. 3" DEPTH MULCH BED TO LIMITS SHOWN FLUSH TO ADJOINING SURFACES.  
 5. INSTALL ROOT FLARE FLUSH WITH ADJACENT FINISH GRADE.  
 6. PLANTING SOIL MIX  
 7. COMPACTED PLANTING SOIL MIX  
 8. UNDISTURBED SUBGRADE

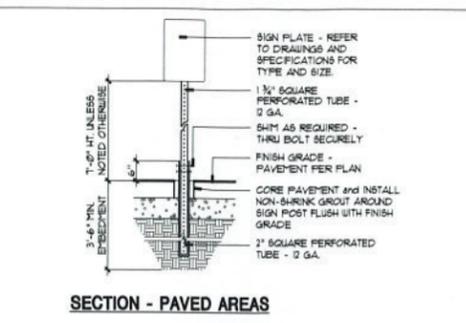
**12 SHRUB PLANTING**  
 L-401 NOT TO SCALE 32-9300-02



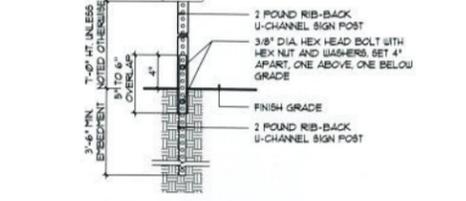
**11 EVERGREEN PLANTING**  
 L-401 NOT TO SCALE 32-9300-03



**10 RESERVED PARKING STALL**  
 L-401 NOT TO SCALE 32-7123-01



**SECTION - PAVED AREAS**



**SECTION - NON-PAVED AREAS**

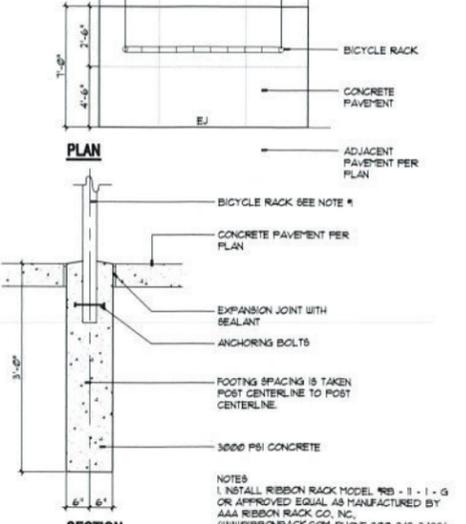
**9 TRAFFIC CONTROL SIGN**  
 L-401 NOT TO SCALE 32-4000-01

**NOTES:**  
 1. FABRICATE SIGN PANELS OF 2000 ALUMINUM.  
 2. ALL SIGNS SHALL BE FASTENED TO OR MOUNTED ON POST WITH GALVANIZED BOLTS, NUTS AND WASHERS.  
 3. FOR FURTHER INFORMATION, REFER TO THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION.  
 4. COORDINATE SIGN LOCATION TO AVOID UTILITIES.

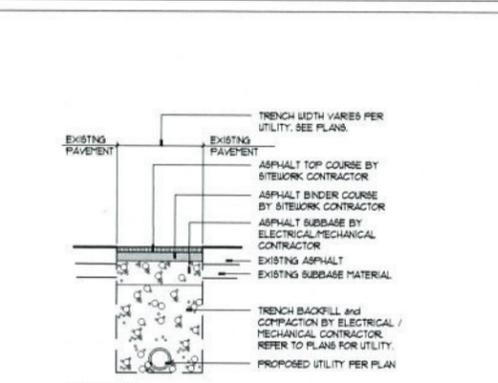
**8 DETAIL OMITTED**  
 L-401



**7 BICYCLE RACK**  
 L-401 N.T.S. 32-4000-41



**4 PIPE BEDDING**  
 L-401 NOT TO SCALE 33-4000-20A

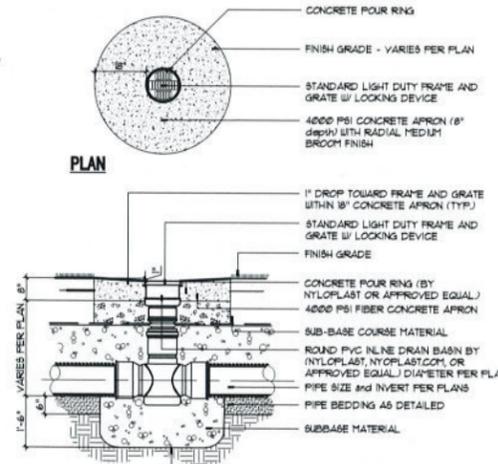


**6 ASPHALT PAVEMENT @ UTILITY TRENCHES**  
 L-401 NOT TO SCALE 31-2333-01

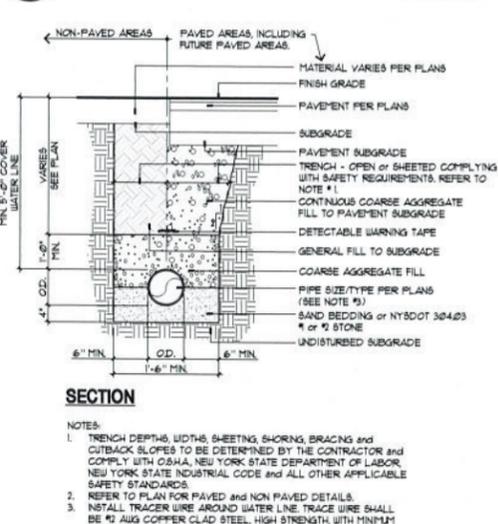
**TYPICAL COURSE THICKNESS (MINIMUM REPLACEMENT THICKNESS)**

COURSE	MAT'L	NYSDOT SPEC	THICK
ASPHALT TOP	TYPE 1	SECT 401-2.02	1-1/2"
ASPHALT BINDER	TYPE 3	SECT 401-2.02	1-1/2"
BASE	TYPE 1	SECT 401-2.02	8"
SUB-BASE	TYPE 4	SECT 401-2.02	3"

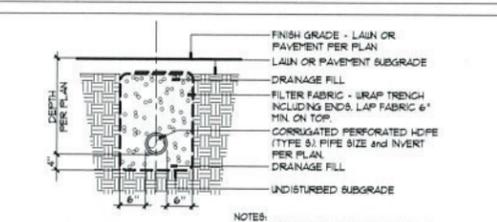
**5 INLINE BASIN - LIGHT DUTY**  
 L-401 NOT TO SCALE 33-4000-08C



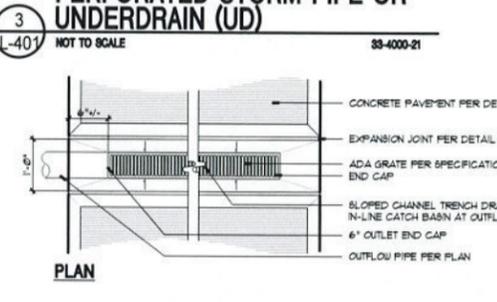
**2 TRENCH DRAIN - FORMED CONCRETE**  
 L-401 NOT TO SCALE 33-4000-91



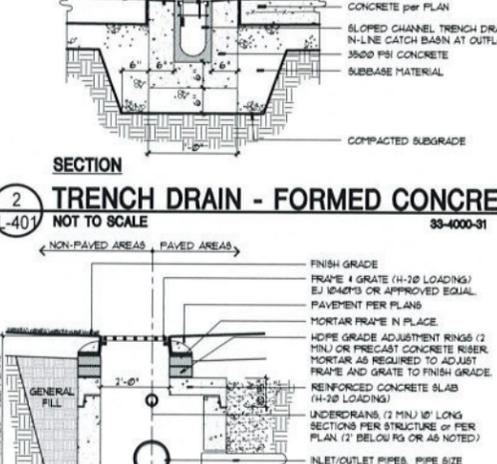
**1 STORM INLET (SI)**  
 L-401 NOT TO SCALE 33-4000-01A



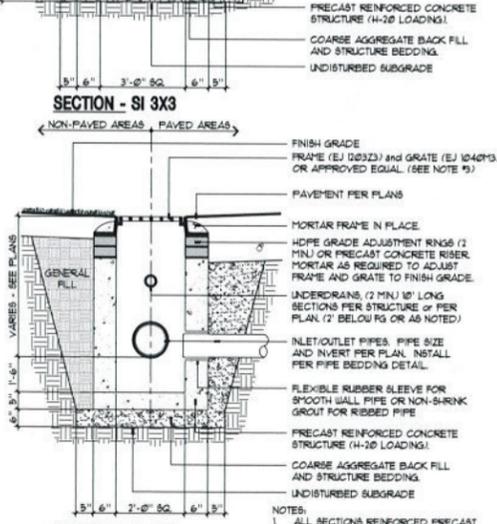
**3 PERFORATED STORM PIPE OR UNDERDRAIN (UD)**  
 L-401 NOT TO SCALE 33-4000-21



**2 TRENCH DRAIN - FORMED CONCRETE**  
 L-401 NOT TO SCALE 33-4000-91



**SECTION - SI 3X3**



**SECTION - SI 2X2**

**KEPLINGER FREEMAN ASSOCIATES**  
 LANDSCAPE ARCHITECTURE & LAND PLANNING  
 6330 1ST ROAD, SUITE 101 EAST SYRACUSE, NEW YORK 13207  
 PHONE: (315) 445-7900 FAX: (315) 445-7901  
**RZ Engineering, PLLC**  
 6330 1ST ROAD, SUITE 101 EAST SYRACUSE, NY 13207  
 PH: 315.432.1089 FAX: 315.445.7901



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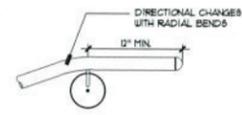
SMITH MIXED USE BUILDING and SITE REDEVELOPMENT  
 500 E. ERIE BLVD., CITY OF SYRACUSE, NY

**REVISIONS**

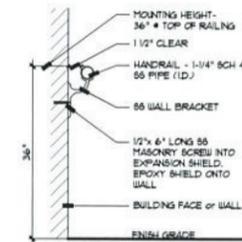
NO.	DATE	DESCRIPTION

Drawn By: V.E.R.  
 Checked By: S.L.F.  
 KFA Proj. No.: 39075  
 Date: FEBRUARY 05, 2020  
 Scale: AS NOTED  
 Title: DETAILS

**L-401**

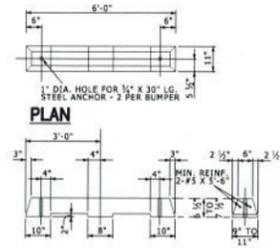


**SIDE VIEW**



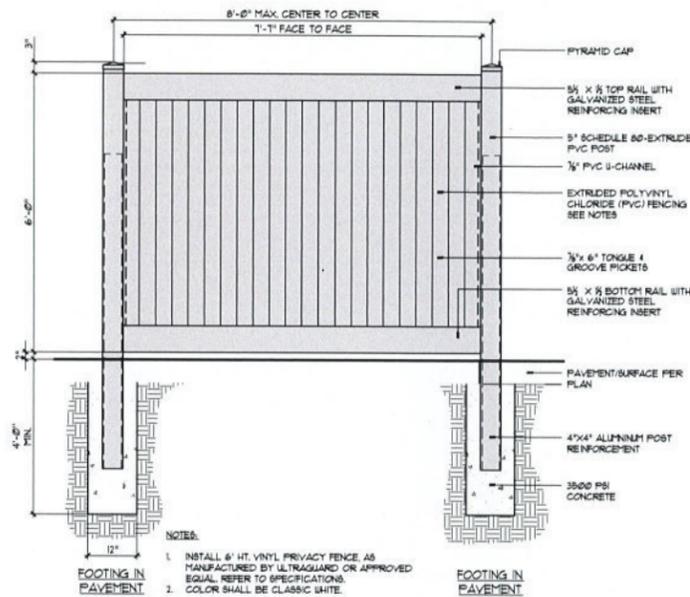
**SECTION**

**7 HANDRAIL WALL BRACKET**  
L-402 NOT TO SCALE 32-3119-02

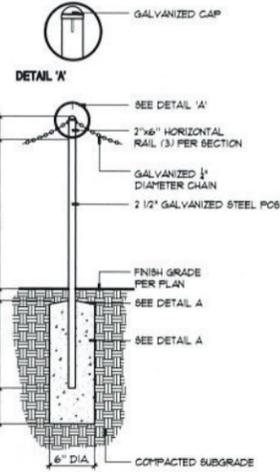


**ELEVATION SECTION**

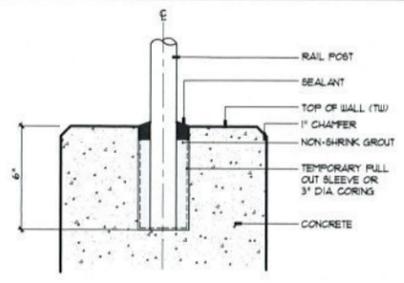
**5 6' CONCRETE WHEEL STOP**  
L-402 NOT TO SCALE 32-4000-0X



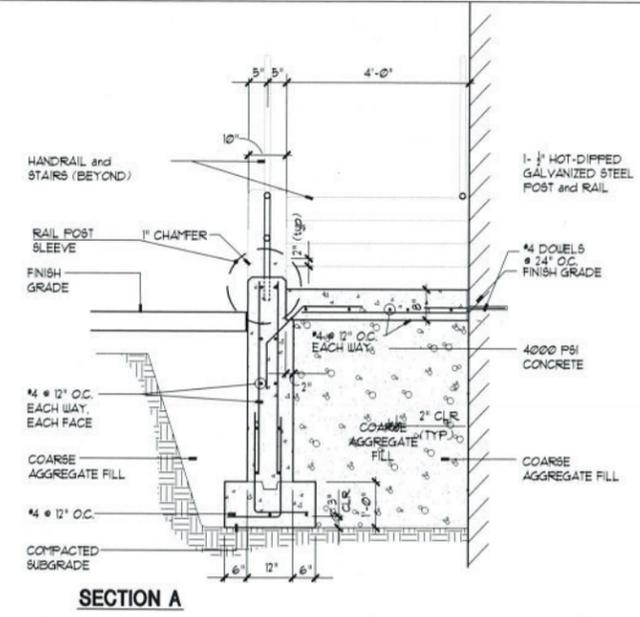
**4 6' HT. PRIVACY PVC FENCE**  
L-402 NOT TO SCALE 32-3123-02



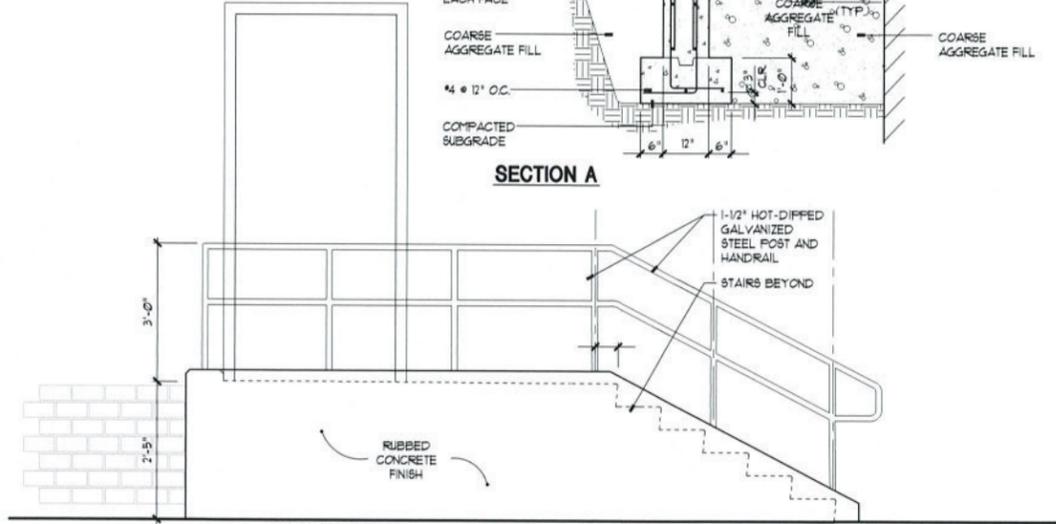
**3 POST AND CHAIN FENCE**  
L-402 NOT TO SCALE 32-4000-10



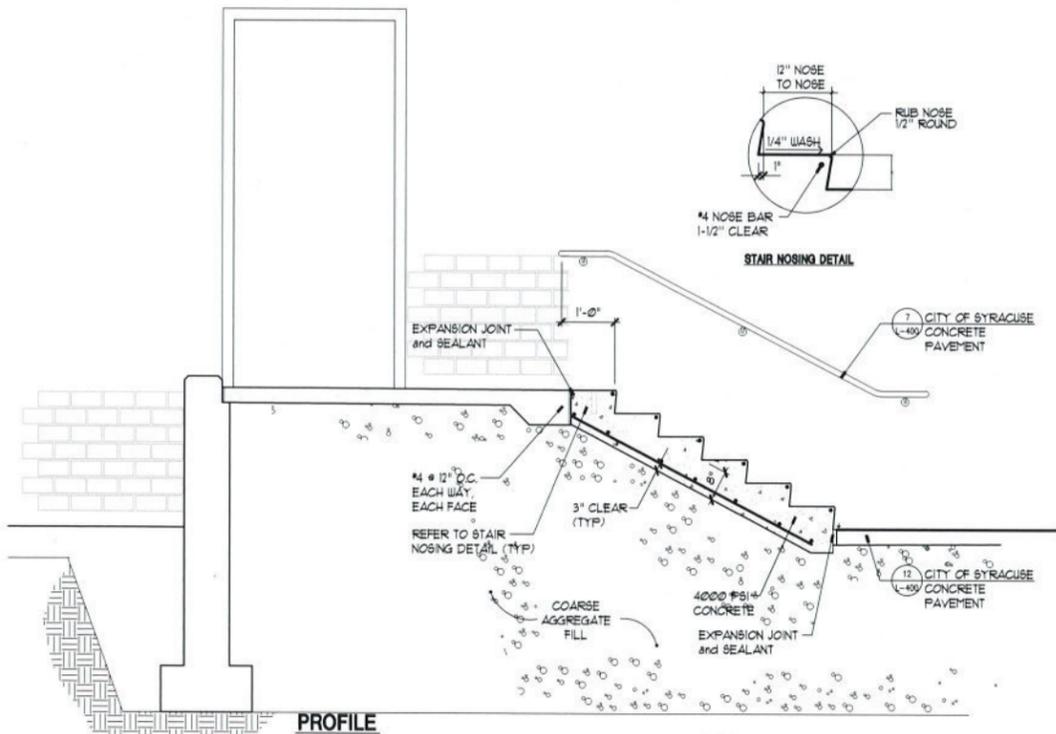
**2 RAIL POST DETAIL**  
L-402 NOT TO SCALE 32-3119-06



**SECTION A**



**SECTION B**



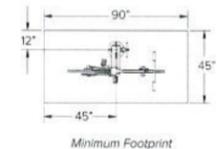
**PROFILE**

**1 WATER STREET STAIR DETAIL**  
L-402 SCALE: 1/2" = 1'-0"

**FIXIT Submittal Sheet**



- CAPACITY:** 1 Bike
- MATERIALS:** Main body: 6" x 154" tube, Bike Hanger: 1.5" sch. 40 pipe, 1/4" plate, Foot: 10" dia. x .25" plate, Tool holders: 5/32" stainless steel cable, Manual air pump, Hand tools: Philips and flat head screwdrivers, 2.5, 3, 4, 5, 6, 8mm Allen wrenches, Headset wrench, Pedal wrench, 8, 9, 10, 11mm box wrenches, Tire levers (2)
- FINISHES:**
  - Galvanized:** An after fabrication not dipped galvanized finish is our standard option.
  - Powder Coat:** Our powder coat finish assures a high level of adhesion and durability by following these steps: 1. Sandblast, 2. Epoxy primer electrostatically applied, 3. Final thick TG-C polyester powder coat
  - Stainless:** Stainless Steel: 304 grade stainless steel material finished in either a high polished shine or a satin finish.
  - Surface:** Has 10" diameter x .25" foot with four anchors per foot.
- MOUNT OPTIONS:**



**NOTES:**  
1. INSTALL (1) FITIT REPAIR STATION MANUFACTURED BY DERO (WWW.DERO.COM) OR APPROVED EQUAL.

**DERO** PLAYSPORTS  
www.dero.com | 1-888-337-6729

**6 BICYCLE REPAIR STATION**  
L-402

**KEPLINGER FREEMAN ASSOCIATES**  
LANDSCAPE ARCHITECTURE & LAND PLANNING  
6330 FLY ROAD, SUITE 105, EAST SYRACUSE, NEW YORK 13057  
PHONE: (315) 465-7900 FAX: (315) 465-7908  
**RZ Engineering, PLLC**  
6330 FLY ROAD SUITE 105  
EAST SYRACUSE, NY 13057  
PH: 315.412.1089 FAX: 315.445.7981



UTILIZED FOR STORMWATER AND SANITARY DESIGN

**SMITH MIXED USE BUILDING and SITE REDEVELOPMENT**  
500 E. ERIE BLVD., CITY OF SYRACUSE, NY

**REVISIONS**

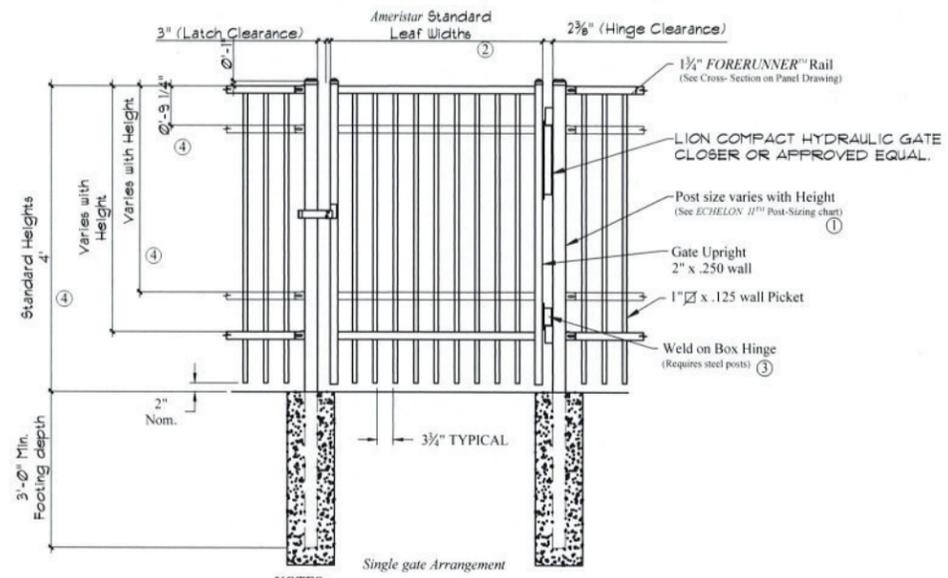

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Checked By: S.L.F.  
KFA Proj. No: 39075  
Date: FEBRUARY 05, 2020  
Scale: AS NOTED  
Title:

**L-402**



UTILIZED FOR STORMWATER  
AND SANITARY DESIGN

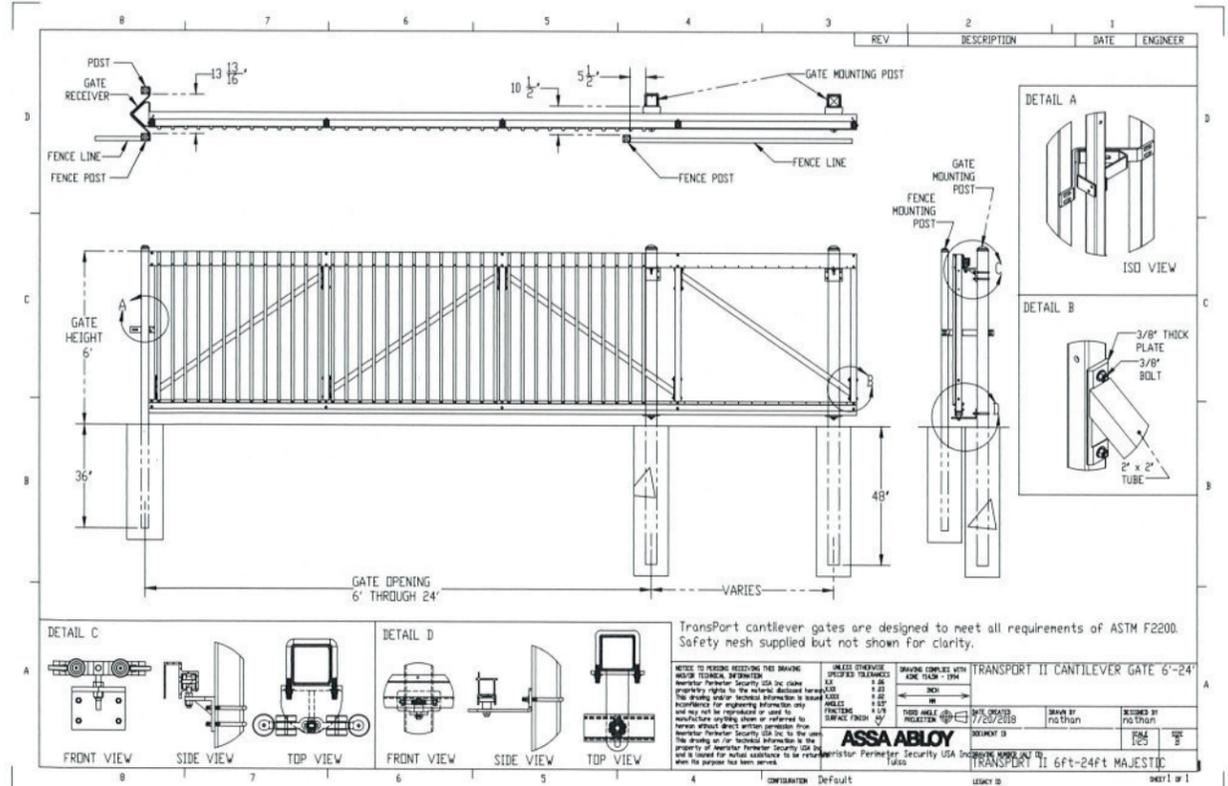
SMITH MIXED USE BUILDING and  
SITE REDEVELOPMENT  
500 E. ERIE BLVD., CITY OF SYRACUSE, NY



- NOTES:**
- 1.) Post size depends on fence height, weight and wind loads. See ECHELON II™ post sizing chart.
  - 2.) See Ameristar gate table for standard out to outs. Custom gate openings available for special out to out/leaf widths.
  - 3.) Additional styles of gate hardware are available on request. This could change the Latch & Hinge Clearance.
  - 4.) Third and Fourth rail optional. Some heights noted required a third and/or fourth rail.

- NOTES:**
1. ECHELON II MAJESTIC RAIL GATE WITH 1 1/2" POST 12 GA. POSTS TO BE UTILIZED FOR 6' HT. FENCE.
  2. CONTRACTOR TO INSTALL RAIL FENCE AS MANUFACTURED BY AMERISTAR [www.ameristarfence.com](http://www.ameristarfence.com) OR APPROVED EQUAL. COLOR: BLACK.
  3. CONTRACTOR TO PROVIDE MANUFACTURER'S PRODUCT DATA and SHOP DRAWINGS SUBMITTALS FOR REVIEW. REFER TO SPECIFICATIONS. (CONTACT JOSEPH KISELICA - 315-635-0098)
  4. REFER TO ELECTRICAL DRAWING FOR POWER TO GATE. GATE CONTROLLER TO BE PROVIDED BY FENCE GATE INSTALLER. SUBMITTAL FOR GATE CONTROLLER, POWER, GATE ACCESSORIES AND PLAN LAYOUT REQUIRED FOR REVIEW PRIOR TO CONSTRUCTION.

**2** ORNAMENTAL GATE - MANUFACTURED - ECHELON II MAJESTIC  
NOT TO SCALE



REV	DESCRIPTION	DATE	ENGINEER
1			
2			
3			
4			
5			
6			
7			
8			

TransPort cantilever gates are designed to meet all requirements of ASTM F2200. Safety mesh supplied but not shown for clarity.

**ASSA ABLOY**

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UNLESS OTHERWISE SPECIFIED, DIMENSIONS SHALL BE IN INCHES. DIMENSIONS SHALL BE IN MILLIMETERS UNLESS OTHERWISE SPECIFIED.

DATE CREATED: 7/20/2018  
DRAWN BY: rjg/tdm  
DESIGNED BY: rjg/tdm  
CHECKED BY: rjg/tdm  
DATE: 7/20/2018

PROJECT: TRANSPORT II 6FT-24FT MAJESTIC  
SHEET 1 OF 1

**1** CANTILEVER ACCESS GATE  
NOT TO SCALE

**REVISIONS**

NO.	DESCRIPTION

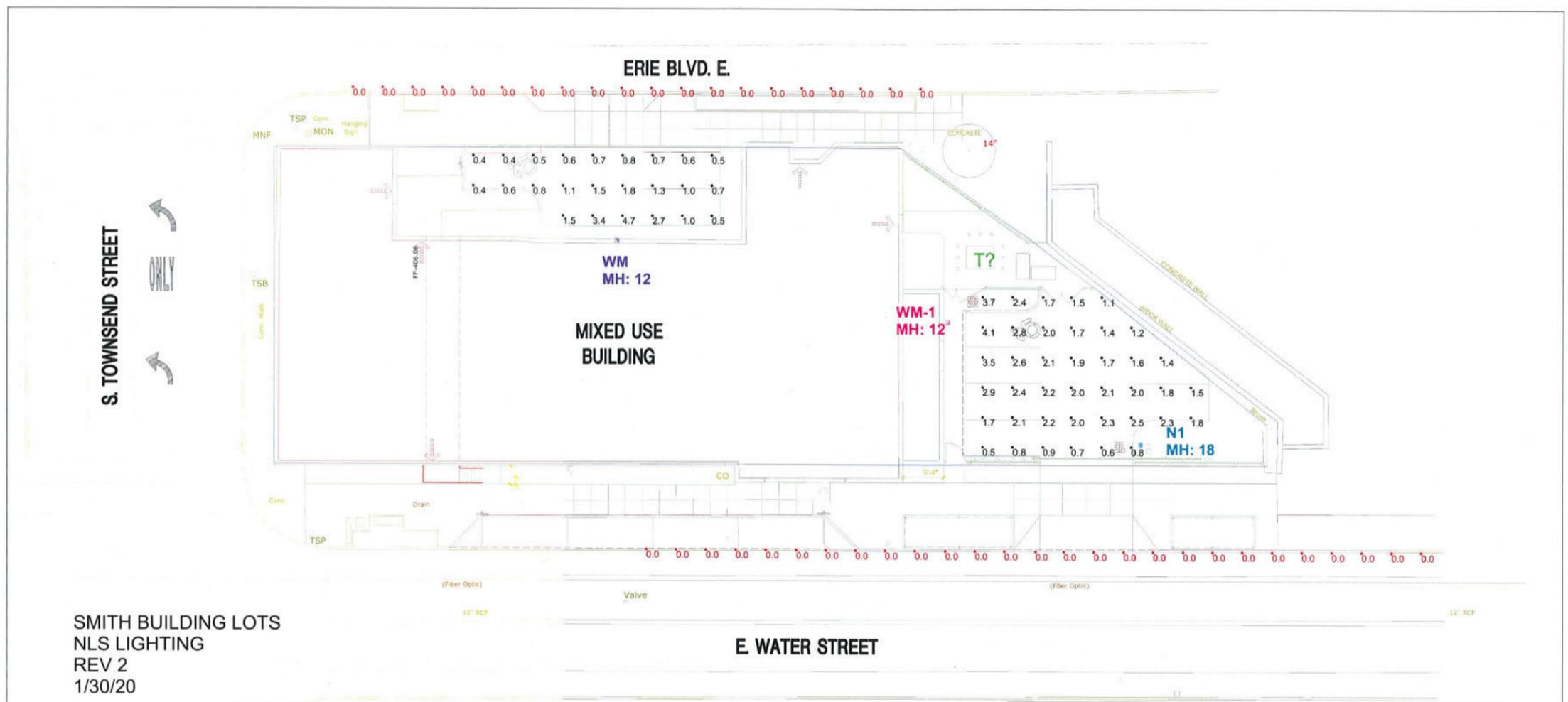
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KFA Proj. No.: 39075  
Date: FEBRUARY 05, 2020  
Scale: AS NOTED  
Title: DETAILS

**L-403**



UTILIZED FOR STORMWATER AND SANITARY DESIGN

**SMITH MIXED USE BUILDING and SITE REDEVELOPMENT**  
**500 E. ERIE BLVD., CITY OF SYRACUSE, NY**



SMITH BUILDING LOTS  
 NLS LIGHTING  
 REV 2  
 1/30/20

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts
	1	WM	SINGLE	0.950	NV-W-T3-16L-35-50K-WM @ 12' MTG.HT	19
	1	N1	SINGLE	0.950	NV-1-T4-16L-1-50K-HSS-SINGLE @ 18' MTG.HT	56
	1	WM-1	SINGLE	0.950	NV-W-T4-16L-7-50K-WM @ 12' MTG.HT	37

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
EAST LOT	Illuminance	Fc	1.91	4.1	0.5	3.82	8.20
ERIE BLVD SPILL	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.
NORTH LOT	Illuminance	Fc	1.18	4.7	0.4	2.95	11.75
WATER ST SPILL	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.

1 LIGHTING PLAN  
 L-500

NOT TO SCALE

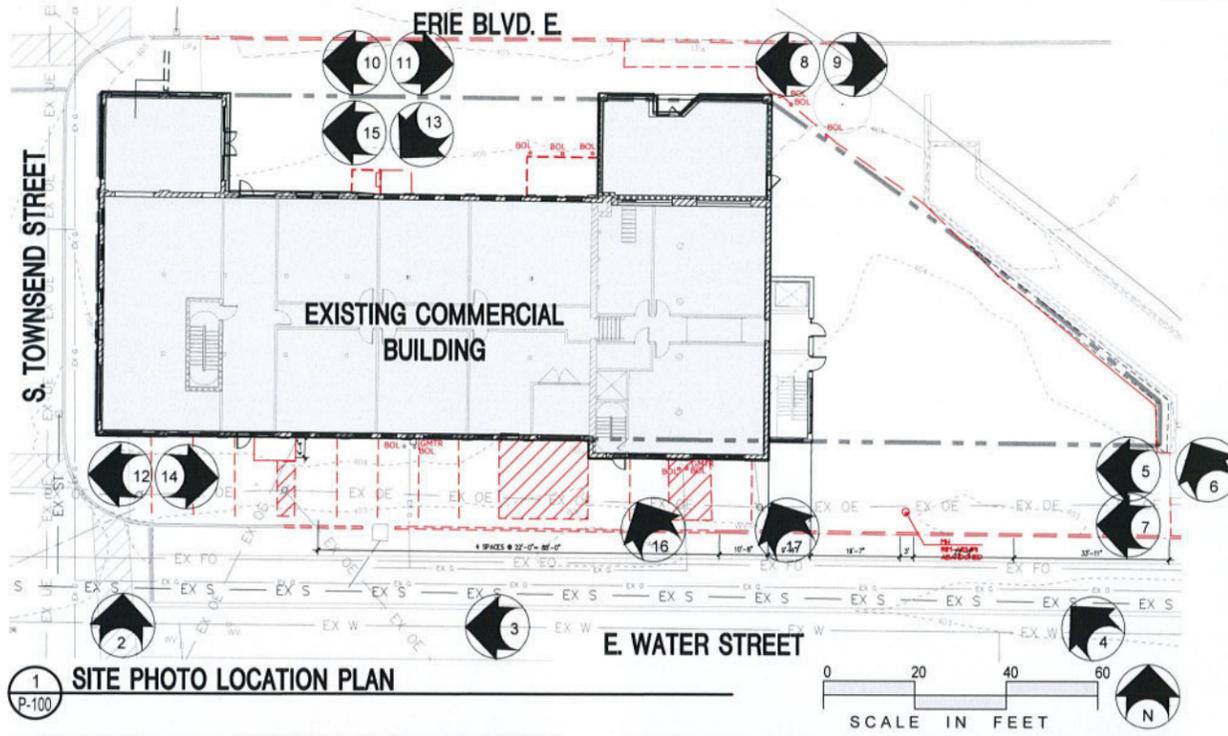


REVISIONS

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 KFA Proj. No: 39075  
 Date: FEBRUARY 05, 2020  
 Scale: AS NOTED  
 Title:

LIGHTING PLAN

**L-500**



**2 CORNER OF WATER AND TOWNSEND**  
P-100



**5 EXISTING ENTRANCE**  
P-100



**10 EXISTING ERIE ENTRANCE AREA**  
P-100



**15 PROPOSED ENTRANCES**  
P-100



**3 LOOKING WEST ON WATER**  
P-100



**6 DOT WALL**  
P-100



**11 LOOKING EAST ALONG ERIE**  
P-100



**16 STAIR ENTRANCE ALONG WATER**  
P-100



**4 BUILDING FROM ACROSS WATER**  
P-100



**7 LOOKING UP SIDEWALK**  
P-100



**12 CORNER OF WATER AND TOWNSEND**  
P-100



**17 ENTRANCES TO BE REMOVED**  
P-100



**8 LOOKING WEST ON ERIE**  
P-100



**13 EXISTING STORE ENTRANCE @ ERIE**  
P-100



**9 LOOKING EAST ON ERIE**  
P-100



**14 ENTRANCE AT WATER**  
P-100

**KFA KEPLINGER FREEMAN ASSOCIATES**  
LANDSCAPE ARCHITECTURE & LAND PLANNING  
6320 FLY ROAD SUITE 100 EAST SYRACUSE, NY 13217  
PHONE: (315) 445-7900 FAX: (315) 445-7901  
**RZ Engineering, PLLC**  
6320 FLY ROAD SUITE 100  
EAST SYRACUSE, NY 13217  
PH: 315.452.1089 FAX: 315.445.7981



UTILIZED FOR STORMWATER AND SANITARY DESIGN

SMITH MIXED USE BUILDING and  
SITE REDEVELOPMENT  
500 E. ERIE BLVD., CITY OF SYRACUSE, NY

REVISIONS	

Drawn By: V.E.R.  
Checked By: S.L.F.  
KFA Proj. No.: 39075  
Date: FEBRUARY 05, 2020  
Scale: AS NOTED

TITLE  
SITE PHOTO PLAN

**P-100**

# SMITH RESTAURANT SUPPLY PAULUS DEVELOPMENT

500 ERIE BLVD E, SYRACUSE, NEW YORK 13202



## ARCHITECT

VIP ARCHITECTURAL ASSOCIATES PLLC  
1 WEBSTERS LANDING  
SYRACUSE, NY 13202  
(315) 471-5338

## LANDSCAPE ARCHITECT

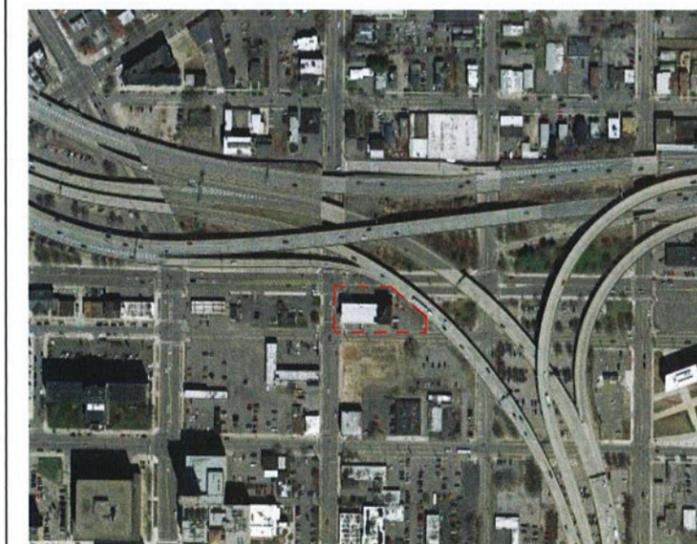
KEPLINGER FREEMAN ASSOCIATES  
6320 FLY ROAD, SUITE 109  
E SYRACUSE, NY 13057  
(315) 445-7980

### LIST OF DRAWINGS:

- COVER SHEET  
G-001 COVER SHEET
- GENERAL & CODE  
G-100 AREA PLAN BASEMENT 00  
G-101 AREA PLAN FLOOR 01  
G-102 AREA PLAN FLOOR 02  
G-103 AREA PLAN FLOOR 03  
G-104 AREA PLAN FLOOR 04  
G-105 AREA PLAN FLOOR 05  
G-106 AREA PLAN FLOOR 06  
G-107 AREA PLAN ROOF 07  
G-108 AREA PLANS FLOOR AREA SCHEDULE
- ARCHITECTURE  
A-100 FLOOR PLAN BSMT 00  
A-101 FLOOR PLAN FLOOR 01  
A-102 FLOOR PLAN FLOOR 02  
A-103 FLOOR PLAN FLOOR 03  
A-104 FLOOR PLAN FLOOR 04  
A-105 FLOOR PLAN FLOOR 05  
A-106 FLOOR PLAN FLOOR 06  
A-107 FLOOR PLAN ROOF 07  
A-200 EXTERIOR ELEVATIONS SOUTH  
A-201 EXTERIOR ELEVATIONS WEST & EAST  
A-202 EXTERIOR ELEVATIONS NORTH  
A-300 BUILDING SECTIONS A  
A-301 BUILDING SECTIONS B  
A-302 BUILDING SECTIONS C  
A-303 BUILDING SECTIONS D  
A-440 APARTMENT TYPES  
A-630 EXTERIOR FINISHES

### 1 LIST OF DRAWINGS

G-001 NO SCALE



### 2 SITE LOCATION MAP

G-001 NO SCALE



ARCHITECTURE

ONE WEBSTERS LANDING  
SYRACUSE, NEW YORK 13202  
315.471.5338

SMITH  
RESTAURANT  
SUPPLY  
PAULUS  
DEVELOPMENT

500 ERIE BLVD E,  
SYRACUSE, NY 13202

PRELIMINARY

NO.	DATE	DESCRIPTION
A	02.03.20	SCHEMATIC DESIGN SUBMISSION
MK		

SHEET ISSUES	
VIP PROJECT NO.	19-2516
FILE NAME	2516_Model_ARCH.rvt
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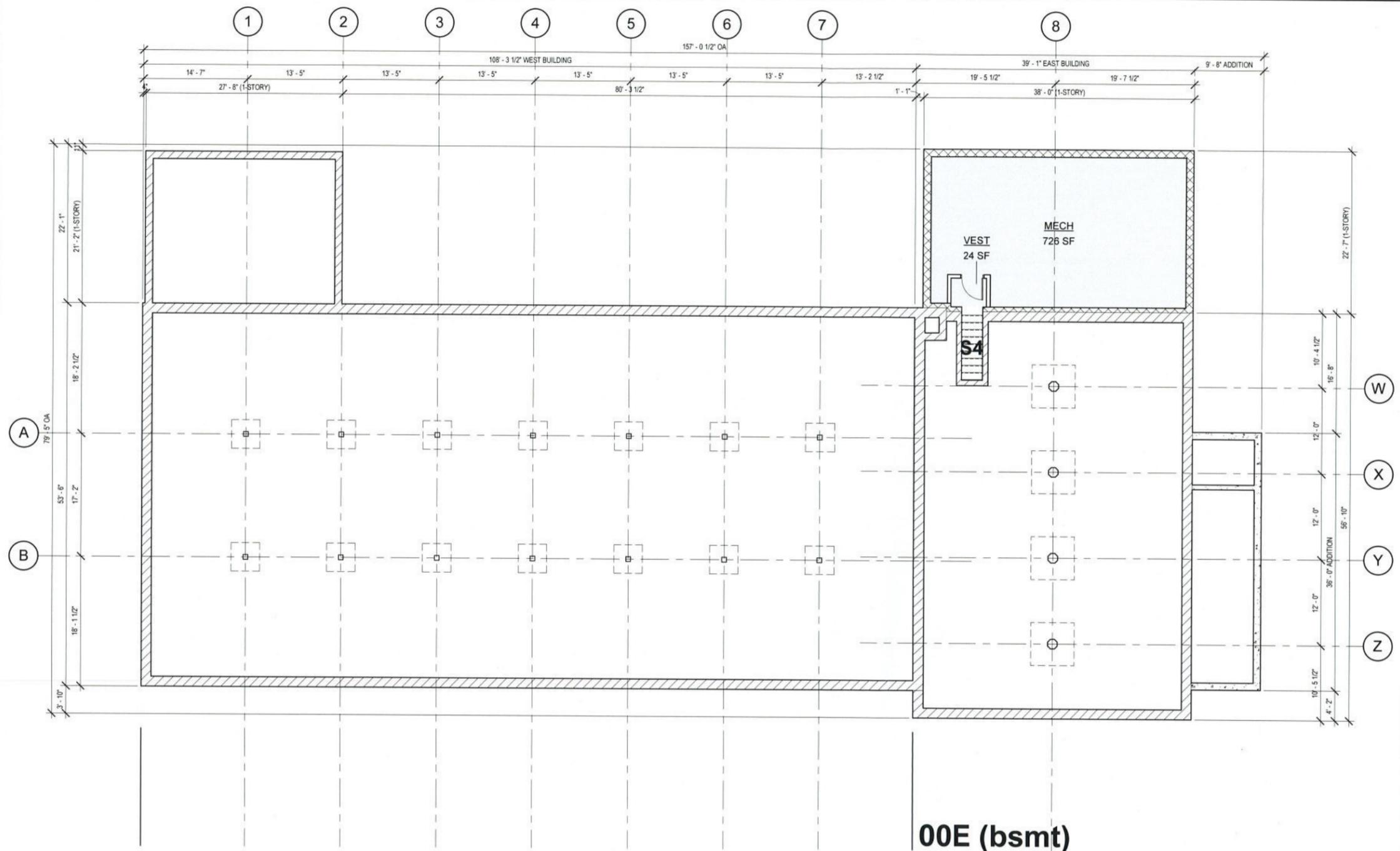
SHEET TITLE

COVER SHEET

SHEET NUMBER

G-001

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00E (bsmt)

**1** AREA PLAN - BASEMENT 00  
G-100 1/8" = 1'-0"

**SMITH  
RESTAURANT  
SUPPLY  
PAULUS  
DEVELOPMENT**

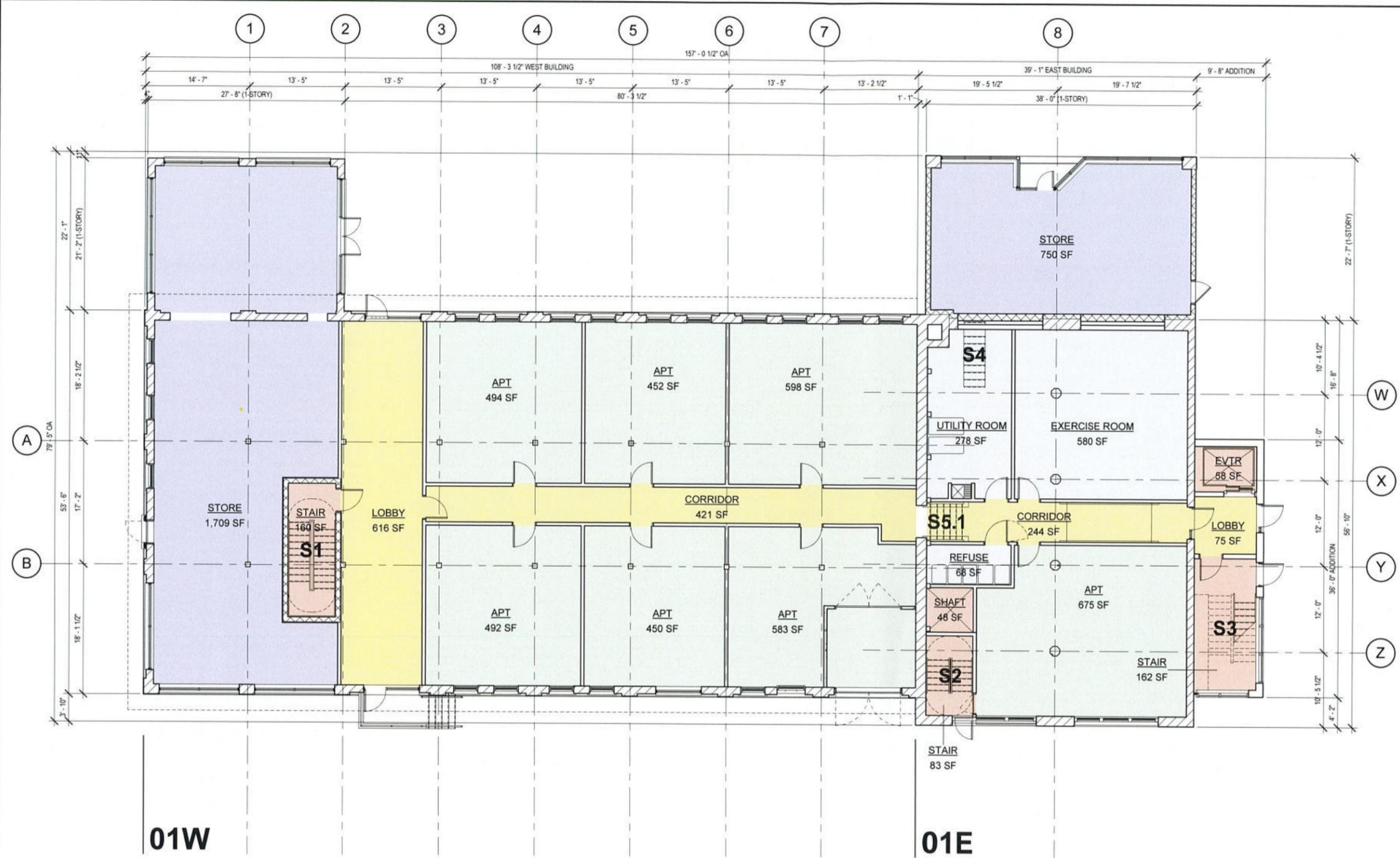
500 ERIE BLVD E,  
SYRACUSE, NY 13202

<b>PRELIMINARY</b>	
1	02-03-20 SCHEMATIC DESIGN SUBMISSION
A	05-28-19 PRELIMINARY

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VIP PROJECT NO.	19-2516	
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GENERAL & CODE SHEET TITLE  
**AREA PLAN  
BASEMENT 00**  
SHEET NUMBER  
**G-100**



01W

01E

**1** AREA PLAN - FLOOR 01  
G-101 1/8" = 1'-0"

PRELIMINARY

REV	DATE	DESCRIPTION
C	02.12.20	SCHEMATIC DESIGN SUBMISSION
B	07.12.19	PRELIMINARY
A	05.28.19	PRELIMINARY

MK	DATE	DESCRIPTION

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ARCHITECTURE

ONE WEBSTERS LANDING  
SYRACUSE, NEW YORK 13202  
315.471.5338



SMITH  
RESTAURANT  
SUPPLY  
PAULUS  
DEVELOPMENT

500 ERIE BLVD E,  
SYRACUSE, NY 13202

PRELIMINARY		
A	02.03.20 SCHEMATIC DESIGN SUBMISSION	
A	05.28.19 PRELIMINARY	
MK	DATE	DESCRIPTION

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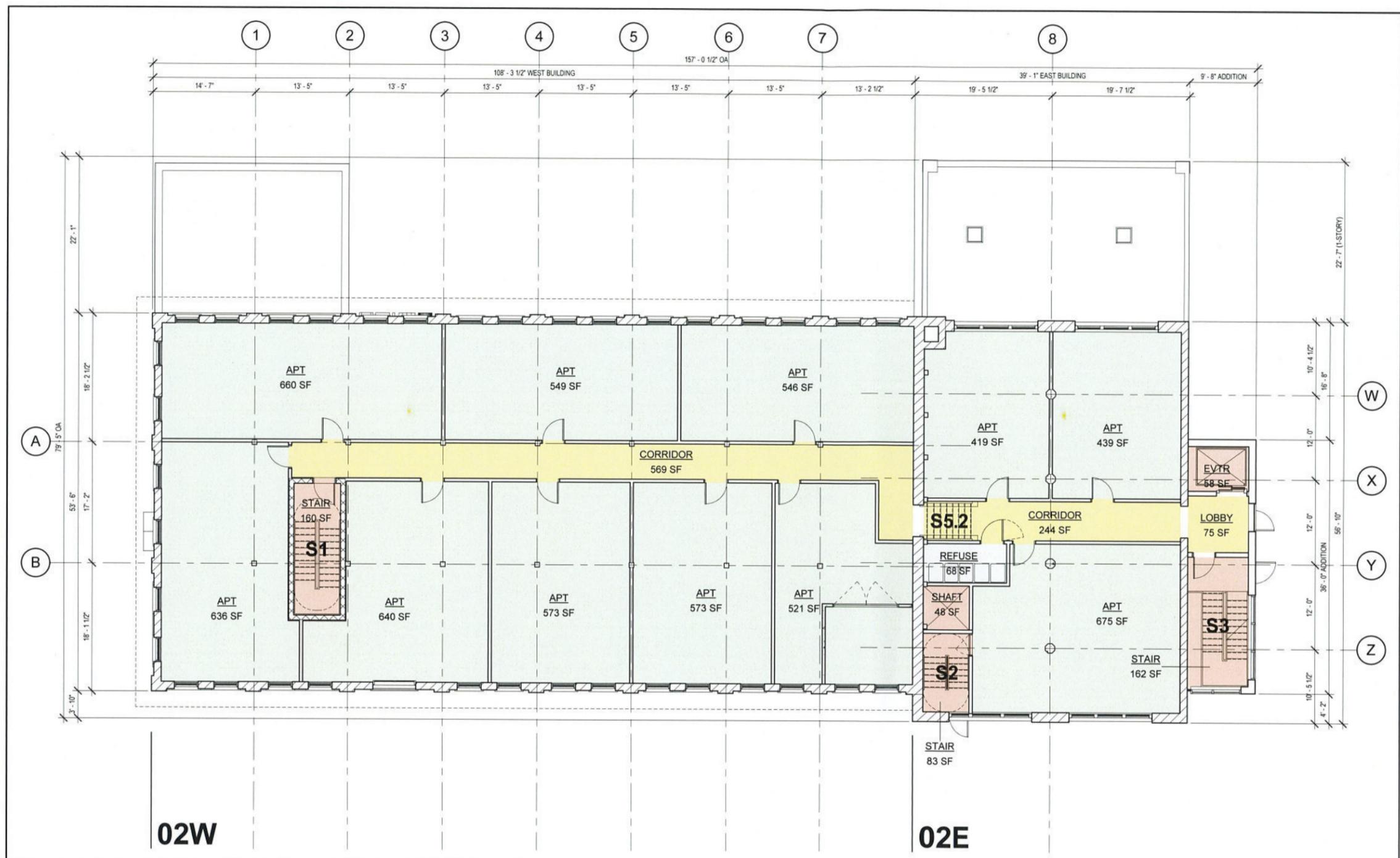
GENERAL & CODE SHEET TITLE

AREA PLAN  
FLOOR 02

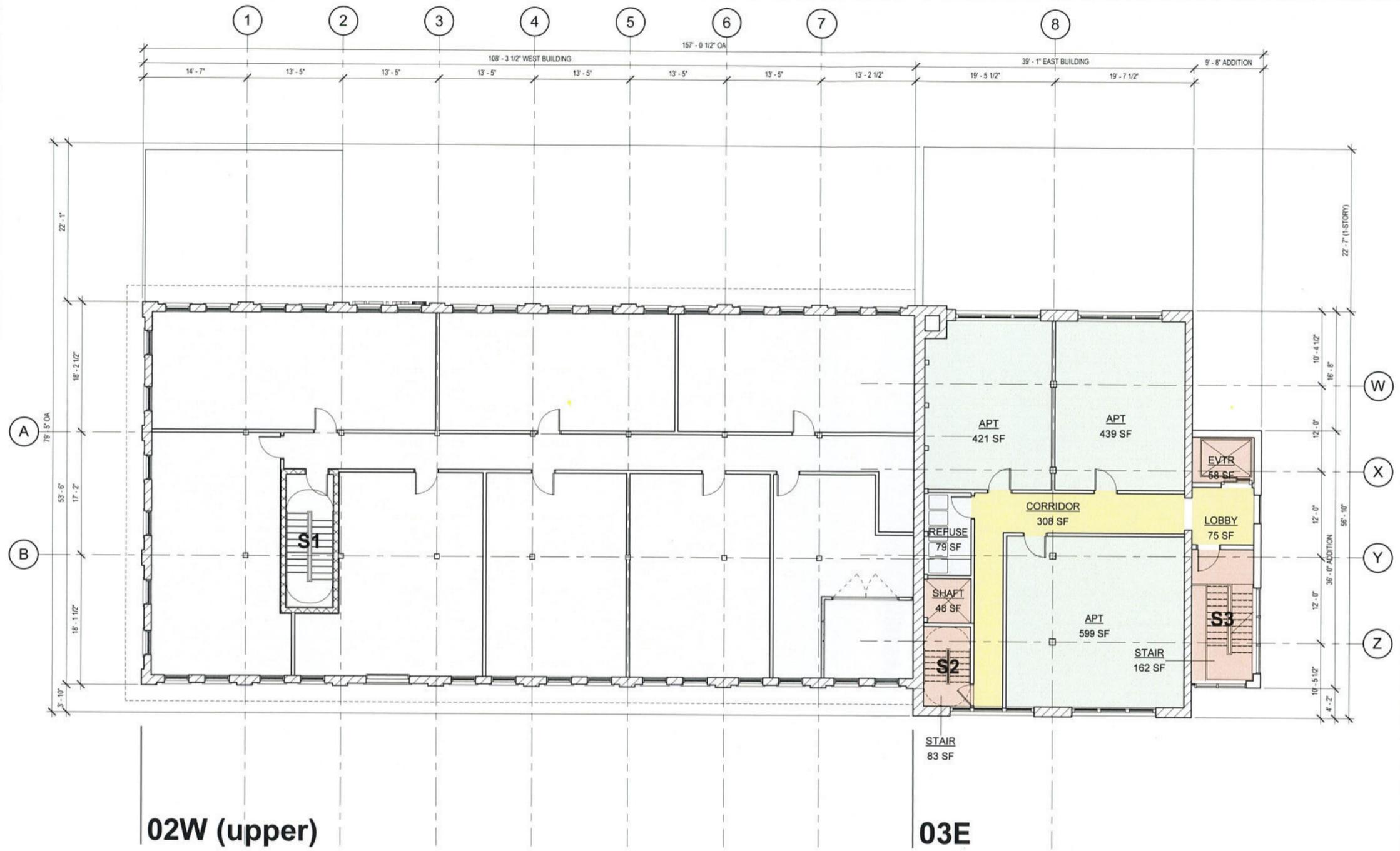
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G-102

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1 AREA PLAN - FLOOR 02  
G-102 1/8" = 1'-0"



02W (upper)

03E

1 AREA PLAN - FLOOR 03  
G-103 1/8" = 1'-0"

PRELIMINARY

02.03.20	SCHEMATIC DESIGN SUBMISSION
A 05.28.19	PRELIMINARY

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ONE WEBSTERS LANDING  
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315.471.5338



SMITH  
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SUPPLY  
PAULUS  
DEVELOPMENT

500 ERIE BLVD E,  
SYRACUSE, NY 13202

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NO.	DATE	DESCRIPTION
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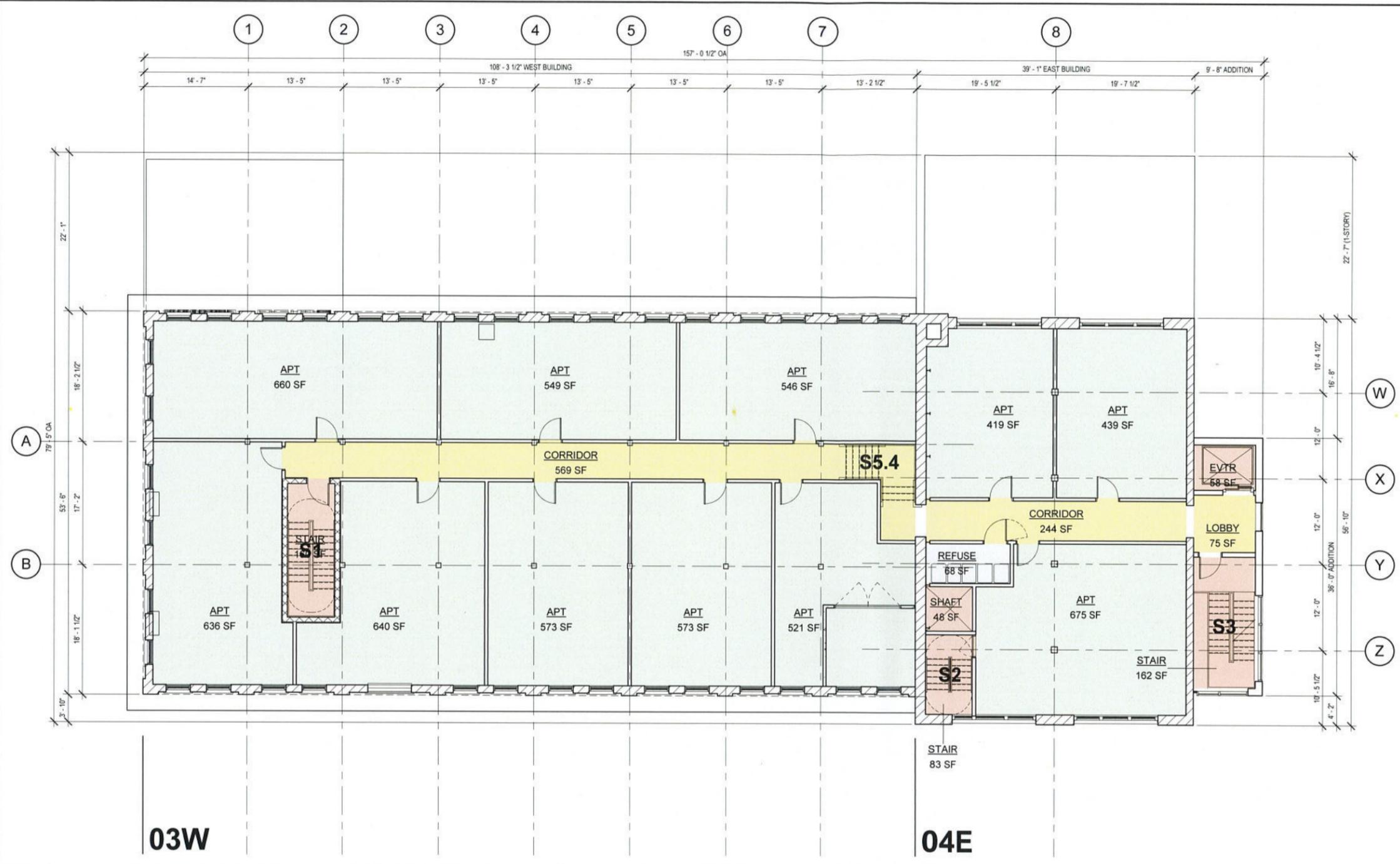
GENERAL & CODE SHEET TITLE

AREA PLAN  
FLOOR 04

SHEET NUMBER

G-104

2/2/2020 6:25:34 PM



03W

04E

1 AREA PLAN - FLOOR 04  
G-104 1/8" = 1'-0"



ARCHITECTURE

ONE WEBSTERS LANDING  
SYRACUSE, NEW YORK 13202  
315.471.5338



SMITH  
RESTAURANT  
SUPPLY  
PAULUS  
DEVELOPMENT

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SYRACUSE, NY 13202

**PRELIMINARY**

NO.	DATE	DESCRIPTION
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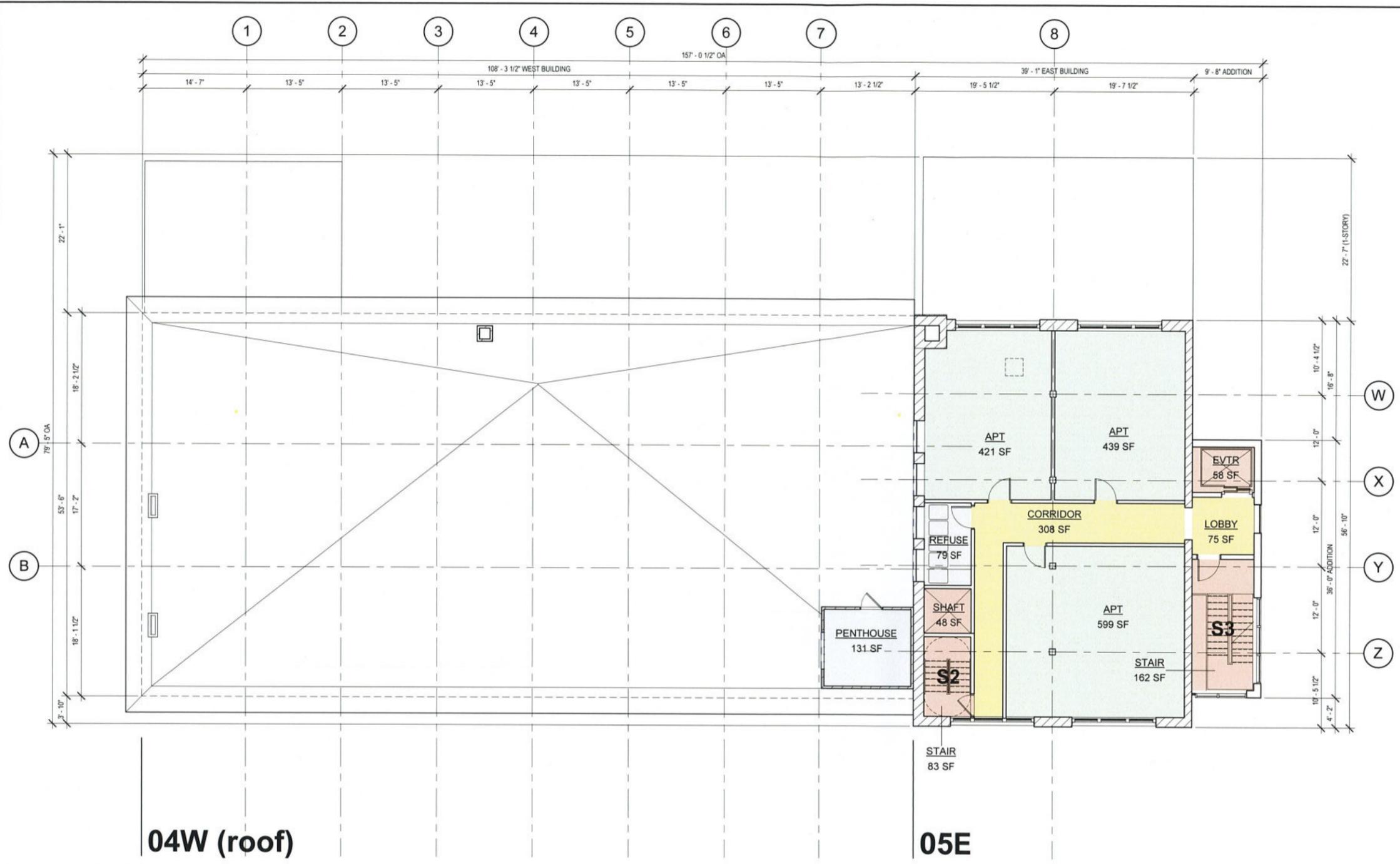
**SHEET ISSUES**

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FILE NAME	2516_Model_ARCH.rvt
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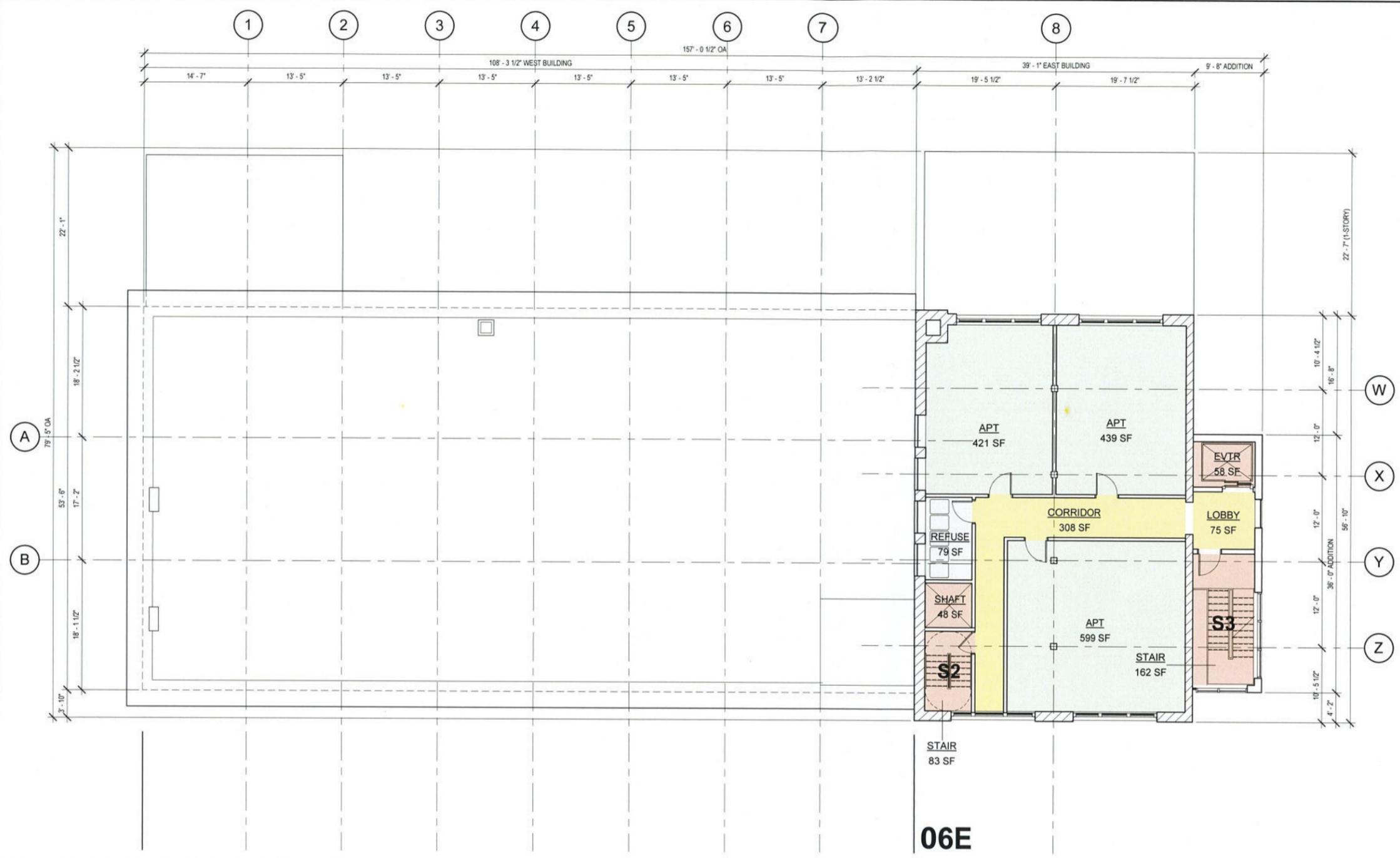
AREA PLAN  
FLOOR 05

SHEET NUMBER  
**G-105**



**1** AREA PLAN - FLOOR 05  
G-105 1/8" = 1'-0"

2/2/2020 10:20:17 PM



06E

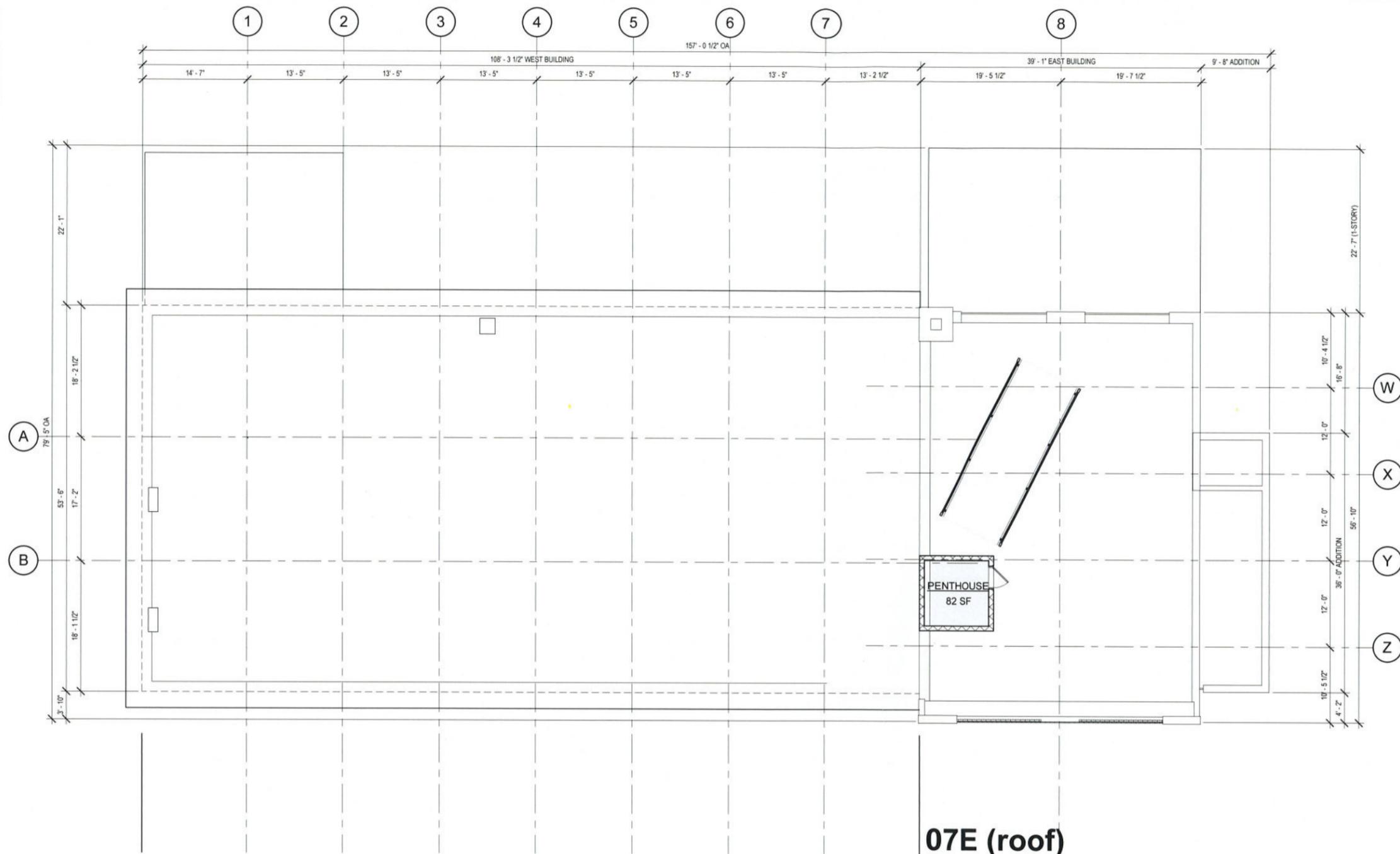
1 AREA PLAN - FLOOR 06  
G-106 1/8" = 1'-0"

PRELIMINARY

REV	DATE	DESCRIPTION
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A	05.28.19	PRELIMINARY

REV	DATE	DESCRIPTION
B	02.03.20	SCHEMATIC DESIGN SUBMISSION
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07E (roof)

1 AREA PLAN - ROOF 07

G-107 1/8" = 1'-0"

**PRELIMINARY**

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AREA PLAN ROOF 07

SHEET NUMBER  
**G-107**



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315.471.5338



SMITH  
RESTAURANT  
SUPPLY  
PAULUS  
DEVELOPMENT

500 ERIE BLVD E,  
SYRACUSE, NY 13202

FLOOR AREA SCHEDULE (Rentable)					
Level	Comments	Name	Area Type	Area	Count
BSMT 00E					
6S East Building					
FLOOR 00E	6S East Buiding	NET/GROSS	Exterior Area	107 SF	1
FLOOR 00E	6S East Buiding	MECH	Building Common Area	726 SF	1
FLOOR 00E	6S East Buiding	VEST	Building Common Area	24 SF	1
6S East Buiding: 3				857 SF	3
BSMT 00E: 3				857 SF	3
FLOOR 01W					
3S West Building					
FLOOR 01W	3S West Buiding	STORE	Store Area	1,709 SF	1
FLOOR 01W	3S West Buiding	APT	Office Area	3,069 SF	6
FLOOR 01W	3S West Buiding	STAIR	Major Vertical Penetration	160 SF	1
FLOOR 01W	3S West Buiding	CORRIDOR	Floor Area	421 SF	1
FLOOR 01W	3S West Buiding	LOBBY	Floor Area	616 SF	1
FLOOR 01W	3S West Buiding	NET/GROSS	Exterior Area	403 SF	1
3S West Building: 11				6,378 SF	11
6S East Building					
FLOOR 01W	6S East Buiding	STORE	Store Area	750 SF	1
FLOOR 01W	6S East Buiding	APT	Office Area	675 SF	1
FLOOR 01W	6S East Buiding	SHAFT	Major Vertical Penetration	48 SF	1
FLOOR 01W	6S East Buiding	STAIR	Major Vertical Penetration	83 SF	1
FLOOR 01W	6S East Buiding	CORRIDOR	Floor Area	244 SF	1
FLOOR 01W	6S East Buiding	NET/GROSS	Exterior Area	354 SF	2
FLOOR 01W	6S East Buiding	EXERCISE ROOM	Building Common Area	580 SF	1
FLOOR 01W	6S East Buiding	REFUSE	Building Common Area	68 SF	1
FLOOR 01W	6S East Buiding	UTILITY ROOM	Building Common Area	278 SF	1
6S East Building: 10				3,080 SF	10
Addition					
FLOOR 01W	Addition	EVTR	Major Vertical Penetration	58 SF	1
FLOOR 01W	Addition	STAIR	Major Vertical Penetration	162 SF	1
FLOOR 01W	Addition	LOBBY	Floor Area	75 SF	1
FLOOR 01W	Addition	NET/GROSS	Exterior Area	53 SF	1
Addition: 4				348 SF	4
FLOOR 01W: 25				9,806 SF	25
FLOOR 02W					
3S West Building					
FLOOR 02W	3S West Buiding	APT	Office Area	4,697 SF	8
FLOOR 02W	3S West Buiding	STAIR	Major Vertical Penetration	160 SF	1
FLOOR 02W	3S West Buiding	CORRIDOR	Floor Area	569 SF	1
FLOOR 02W	3S West Buiding	NET/GROSS	Exterior Area	368 SF	1
3S West Building: 11				5,794 SF	11
6S East Building					
FLOOR 02W	6S East Buiding	APT	Office Area	1,533 SF	3
FLOOR 02W	6S East Buiding	SHAFT	Major Vertical Penetration	48 SF	1
FLOOR 02W	6S East Buiding	STAIR	Major Vertical Penetration	83 SF	1
FLOOR 02W	6S East Buiding	CORRIDOR	Floor Area	244 SF	1
FLOOR 02W	6S East Buiding	NET/GROSS	Exterior Area	247 SF	2
FLOOR 02W	6S East Buiding	REFUSE	Building Common Area	68 SF	1
6S East Building: 9				2,223 SF	9
Addition					
FLOOR 02W	Addition	EVTR	Major Vertical Penetration	58 SF	1
FLOOR 02W	Addition	STAIR	Major Vertical Penetration	162 SF	1
FLOOR 02W	Addition	LOBBY	Floor Area	75 SF	1
FLOOR 02W	Addition	NET/GROSS	Exterior Area	53 SF	1
Addition: 4				348 SF	4
FLOOR 02W: 24				8,365 SF	24
FLOOR 03E					
6S East Building					
FLOOR 03E	6S East Buiding	APT	Office Area	1,458 SF	3
FLOOR 03E	6S East Buiding	SHAFT	Major Vertical Penetration	48 SF	1
FLOOR 03E	6S East Buiding	STAIR	Major Vertical Penetration	83 SF	1
FLOOR 03E	6S East Buiding	CORRIDOR	Floor Area	308 SF	1
FLOOR 03E	6S East Buiding	NET/GROSS	Exterior Area	247 SF	1
FLOOR 03E	6S East Buiding	REFUSE	Building Common Area	79 SF	1
6S East Building: 8				2,224 SF	8
Addition					
FLOOR 03E	Addition	EVTR	Major Vertical Penetration	58 SF	1
FLOOR 03E	Addition	STAIR	Major Vertical Penetration	162 SF	1
FLOOR 03E	Addition	LOBBY	Floor Area	75 SF	1
FLOOR 03E	Addition	NET/GROSS	Exterior Area	53 SF	1
Addition: 4				348 SF	4
FLOOR 03E: 12				2,572 SF	12

FLOOR AREA SCHEDULE (Rentable)					
Level	Comments	Name	Area Type	Area	Count
FLOOR 04E					
3S West Building					
FLOOR 04E	3S West Buiding	APT	Office Area	4,697 SF	8
FLOOR 04E	3S West Buiding	STAIR	Major Vertical Penetration	160 SF	1
FLOOR 04E	3S West Buiding	CORRIDOR	Floor Area	569 SF	1
FLOOR 04E	3S West Buiding	NET/GROSS	Exterior Area	368 SF	1
3S West Building: 11				5,794 SF	11
6S East Building					
FLOOR 04E	6S East Buiding	APT	Office Area	1,533 SF	3
FLOOR 04E	6S East Buiding	SHAFT	Major Vertical Penetration	48 SF	1
FLOOR 04E	6S East Buiding	STAIR	Major Vertical Penetration	83 SF	1
FLOOR 04E	6S East Buiding	CORRIDOR	Floor Area	244 SF	1
FLOOR 04E	6S East Buiding	NET/GROSS	Exterior Area	247 SF	1
FLOOR 04E	6S East Buiding	REFUSE	Building Common Area	68 SF	1
6S East Building: 8				2,223 SF	8
Addition					
FLOOR 04E	Addition	EVTR	Major Vertical Penetration	58 SF	1
FLOOR 04E	Addition	STAIR	Major Vertical Penetration	162 SF	1
FLOOR 04E	Addition	LOBBY	Floor Area	75 SF	1
FLOOR 04E	Addition	NET/GROSS	Exterior Area	53 SF	1
Addition: 4				348 SF	4
FLOOR 04E: 23				8,365 SF	23
FLOOR 05E					
3S West Building					
FLOOR 05E	3S West Buiding	NET/GROSS	Exterior Area	16 SF	1
FLOOR 05E	3S West Buiding	PENTHOUSE	Building Common Area	131 SF	1
3S West Building: 2				147 SF	2
6S East Building					
FLOOR 05E	6S East Buiding	APT	Office Area	1,458 SF	3
FLOOR 05E	6S East Buiding	SHAFT	Major Vertical Penetration	48 SF	1
FLOOR 05E	6S East Buiding	STAIR	Major Vertical Penetration	83 SF	1
FLOOR 05E	6S East Buiding	CORRIDOR	Floor Area	308 SF	1
FLOOR 05E	6S East Buiding	NET/GROSS	Exterior Area	247 SF	1
FLOOR 05E	6S East Buiding	REFUSE	Building Common Area	79 SF	1
6S East Building: 8				2,224 SF	8
Addition					
FLOOR 05E	Addition	EVTR	Major Vertical Penetration	58 SF	1
FLOOR 05E	Addition	STAIR	Major Vertical Penetration	162 SF	1
FLOOR 05E	Addition	LOBBY	Floor Area	75 SF	1
FLOOR 05E	Addition	NET/GROSS	Exterior Area	53 SF	1
Addition: 4				348 SF	4
FLOOR 05E: 14				2,718 SF	14
FLOOR 06E					
6S East Building					
FLOOR 06E	6S East Buiding	APT	Office Area	1,458 SF	3
FLOOR 06E	6S East Buiding	SHAFT	Major Vertical Penetration	48 SF	1
FLOOR 06E	6S East Buiding	STAIR	Major Vertical Penetration	83 SF	1
FLOOR 06E	6S East Buiding	CORRIDOR	Floor Area	308 SF	1
FLOOR 06E	6S East Buiding	NET/GROSS	Exterior Area	247 SF	1
FLOOR 06E	6S East Buiding	REFUSE	Building Common Area	79 SF	1
6S East Building: 8				2,224 SF	8
Addition					
FLOOR 06E	Addition	EVTR	Major Vertical Penetration	58 SF	1
FLOOR 06E	Addition	STAIR	Major Vertical Penetration	162 SF	1
FLOOR 06E	Addition	LOBBY	Floor Area	75 SF	1
FLOOR 06E	Addition	NET/GROSS	Exterior Area	53 SF	1
Addition: 4				348 SF	4
FLOOR 06E: 12				2,572 SF	12
ROOF 07E					
6S East Building					
ROOF 07E	6S East Buiding	NET/GROSS	Exterior Area	26 SF	1
ROOF 07E	6S East Buiding	PENTHOUSE	Building Common Area	82 SF	1
6S East Building: 2				108 SF	2
ROOF 07E: 2				108 SF	2
Grand total: 115				35,362 SF	115

PRELIMINARY

MK	DATE	DESCRIPTION
C	07.12.20	SCHEMATIC DESIGN SUBMISSION
S	07.12.19	PRELIMINARY
A	05.28.19	PRELIMINARY

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VIP PROJECT NO.	19-2516
FILE NAME	2516_Model_ARCH.rvt
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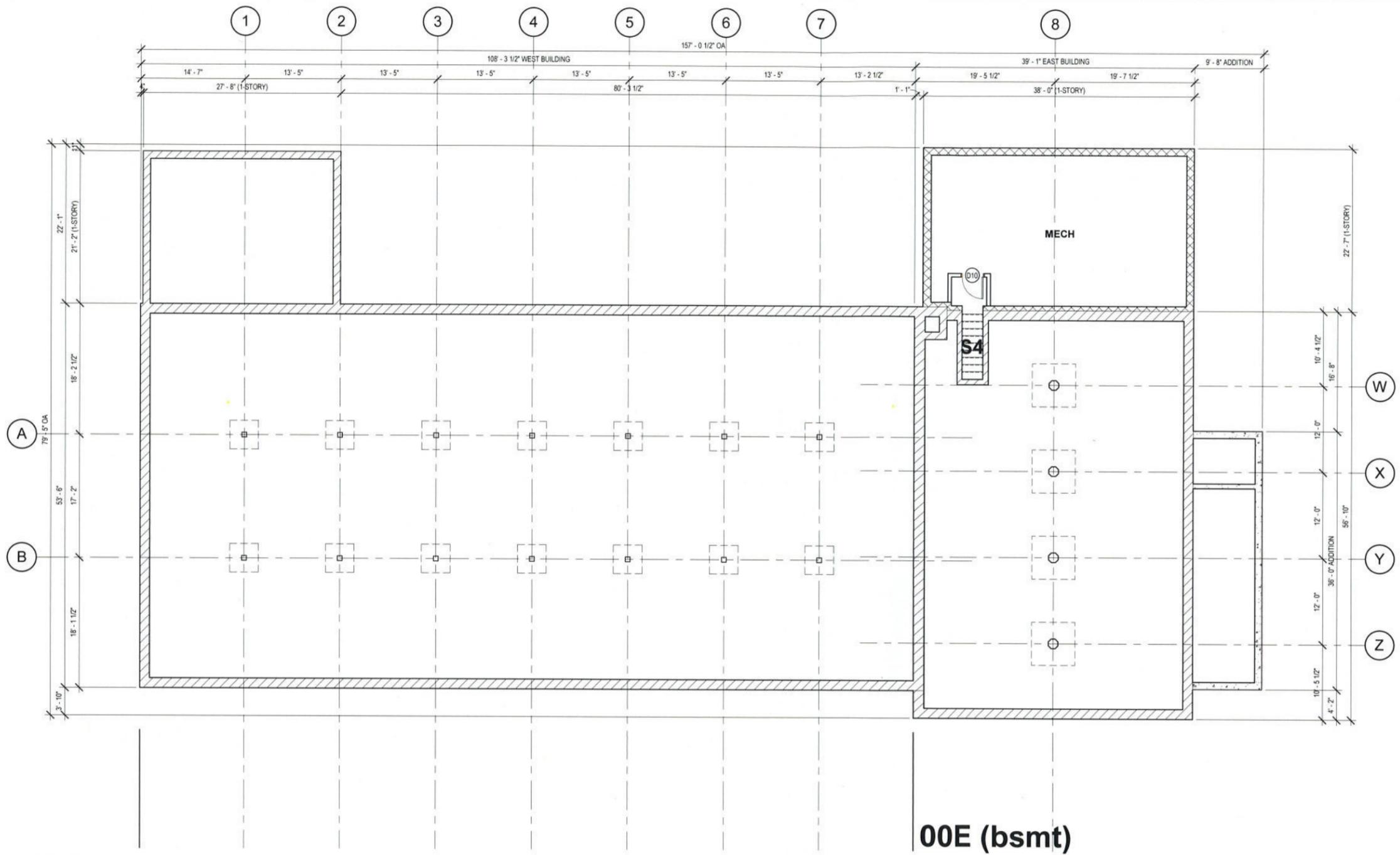
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GENERAL & CODE SHEET TITLE

## AREA PLANS FLOOR AREA SCHEDULE

SHEET NUMBER

# G-108



00E (bsmt)

1 FLOOR PLAN - BSMT 00

A-100 1/8" = 1'-0"

PRELIMINARY

REV	DATE	DESCRIPTION
A	02.03.20	SCHEMATIC DESIGN SUBMISSION
A	05.28.19	PRELIMINARY

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VIP PROJECT NO.	19-2516
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ARCHITECTURE SHEET TITLE  
**FLOOR PLAN  
BSMT 00**

SHEET NUMBER  
**A-100**



ARCHITECTURE

ONE WEBSTERS LANDING  
SYRACUSE, NEW YORK 13202  
315.471.5338

SMITH  
RESTAURANT  
SUPPLY  
PAULUS  
DEVELOPMENT

500 ERIE BLVD E,  
SYRACUSE, NY 13202

**PRELIMINARY**

MK	DATE	DESCRIPTION
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A	05.28.19	PRELIMINARY

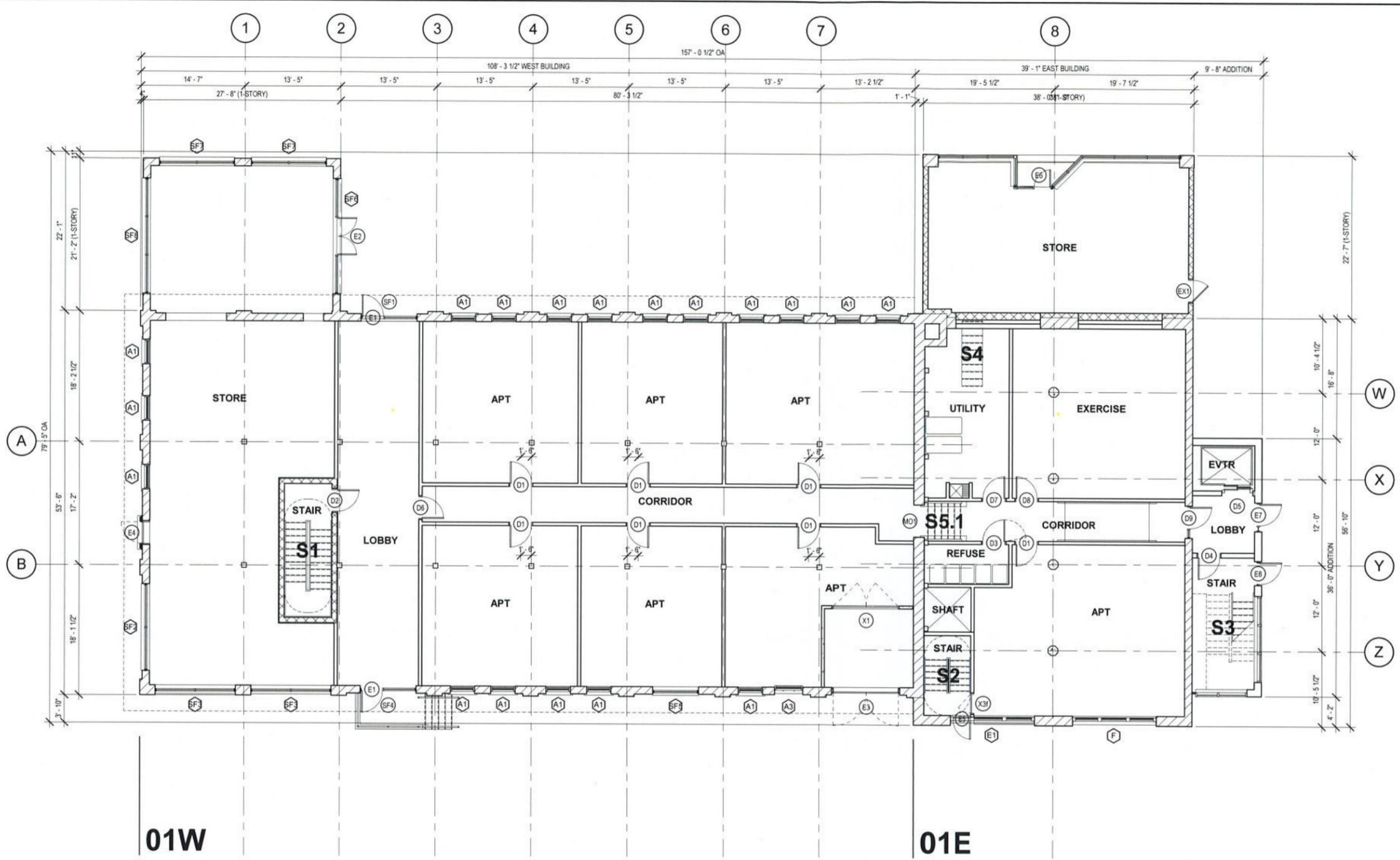
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FLOOR PLAN  
FLOOR 01

SHEET NUMBER  
**A-101**



**1** FLOOR PLAN - FLOOR 01  
A-101 1/8" = 1'-0"

2/4/2020 11:33:06 AM



ARCHITECTURE

ONE WEBSTERS LANDING  
SYRACUSE, NEW YORK, 13202  
315-471-5338



SMITH  
RESTAURANT  
SUPPLY  
PAULUS  
DEVELOPMENT

500 ERIE BLVD E,  
SYRACUSE, NY 13202

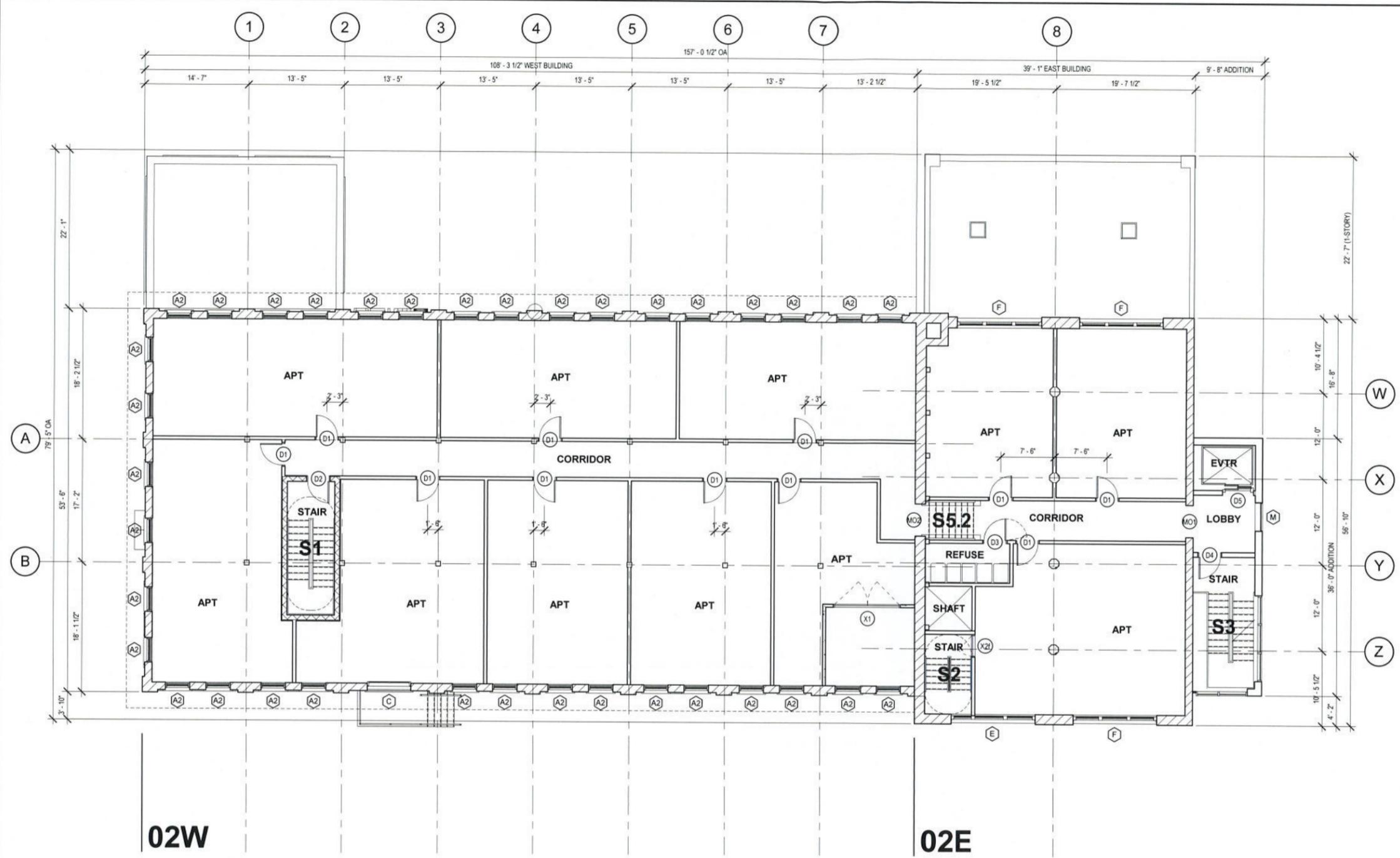
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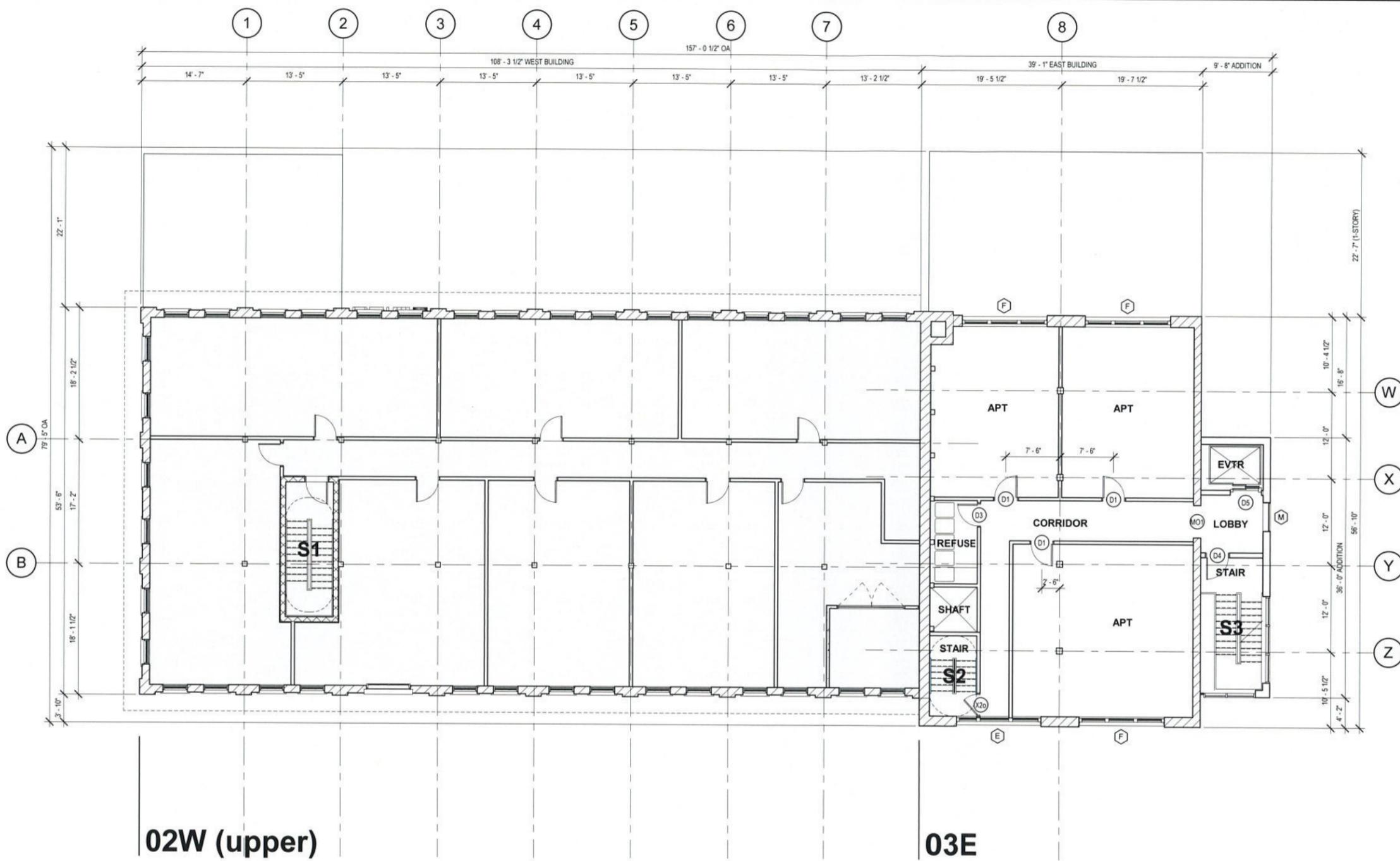
ARCHITECTURE SHEET TITLE  
**FLOOR PLAN  
FLOOR 02**

SHEET NUMBER  
**A-102**



**1** FLOOR PLAN - FLOOR 02  
A-102 1/8" = 1'-0"

2/27/2020 10:28:52 PM



**1** FLOOR PLAN - FLOOR 03  
A-103 1/8" = 1'-0"

**PRELIMINARY**

MK	DATE	DESCRIPTION
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A	05.28.19	PRELIMINARY

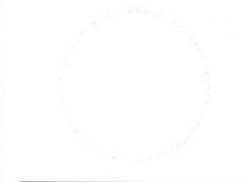
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SMITH  
RESTAURANT  
SUPPLY  
PAULUS  
DEVELOPMENT

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**PRELIMINARY**

NO.	DATE	DESCRIPTION
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A	05.28.19	PRELIMINARY

SHEET ISSUES	
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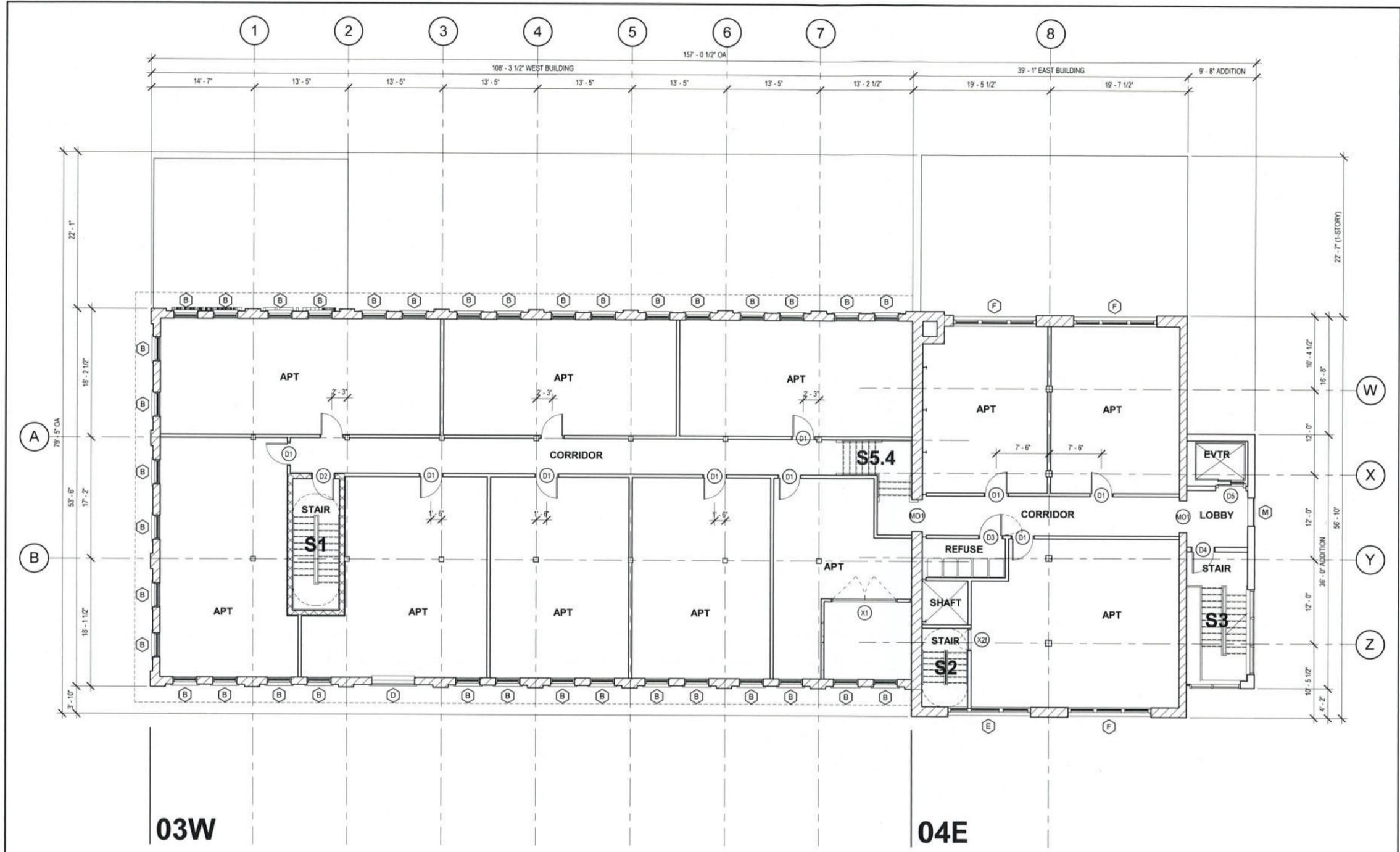
ARCHITECTURE SHEET TITLE

FLOOR PLAN  
FLOOR 04

SHEET NUMBER

A-104

2/3/2020 4:27:53 PM



**1** FLOOR PLAN - FLOOR 04  
A-104 1/8" = 1'-0"



ARCHITECTURE

ONE WEBSTERS LANDING  
SYRACUSE, NEW YORK 13202  
315.471.5338



SMITH  
RESTAURANT  
SUPPLY  
PAULUS  
DEVELOPMENT

500 ERIE BLVD E,  
SYRACUSE, NY 13202

**PRELIMINARY**

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A	02.03.20	SCHEMATIC DESIGN SUBMISSION
A	05.28.19	PRELIMINARY

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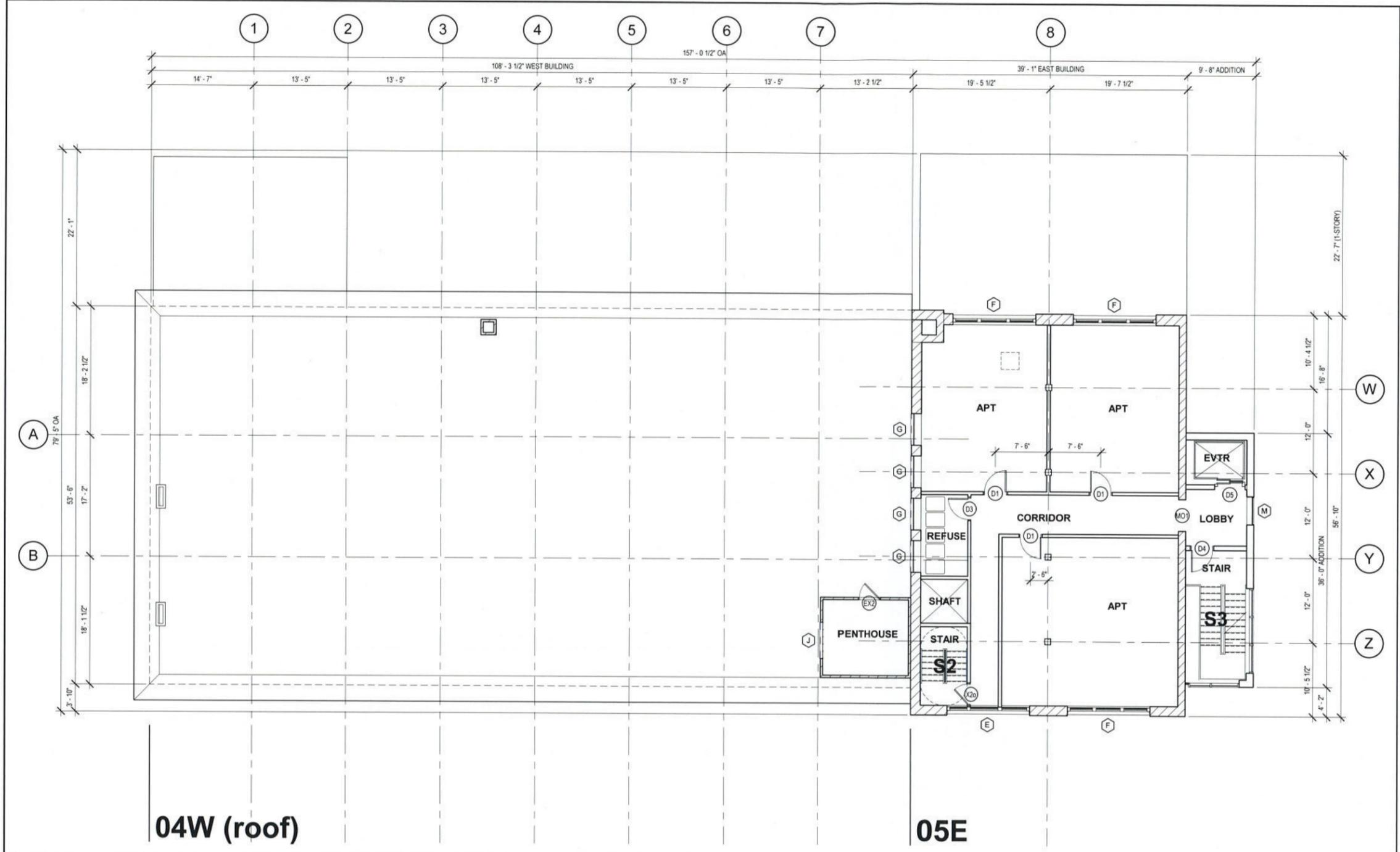
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ARCHITECTURE SHEET TITLE

FLOOR PLAN  
FLOOR 05

SHEET NUMBER

**A-105**

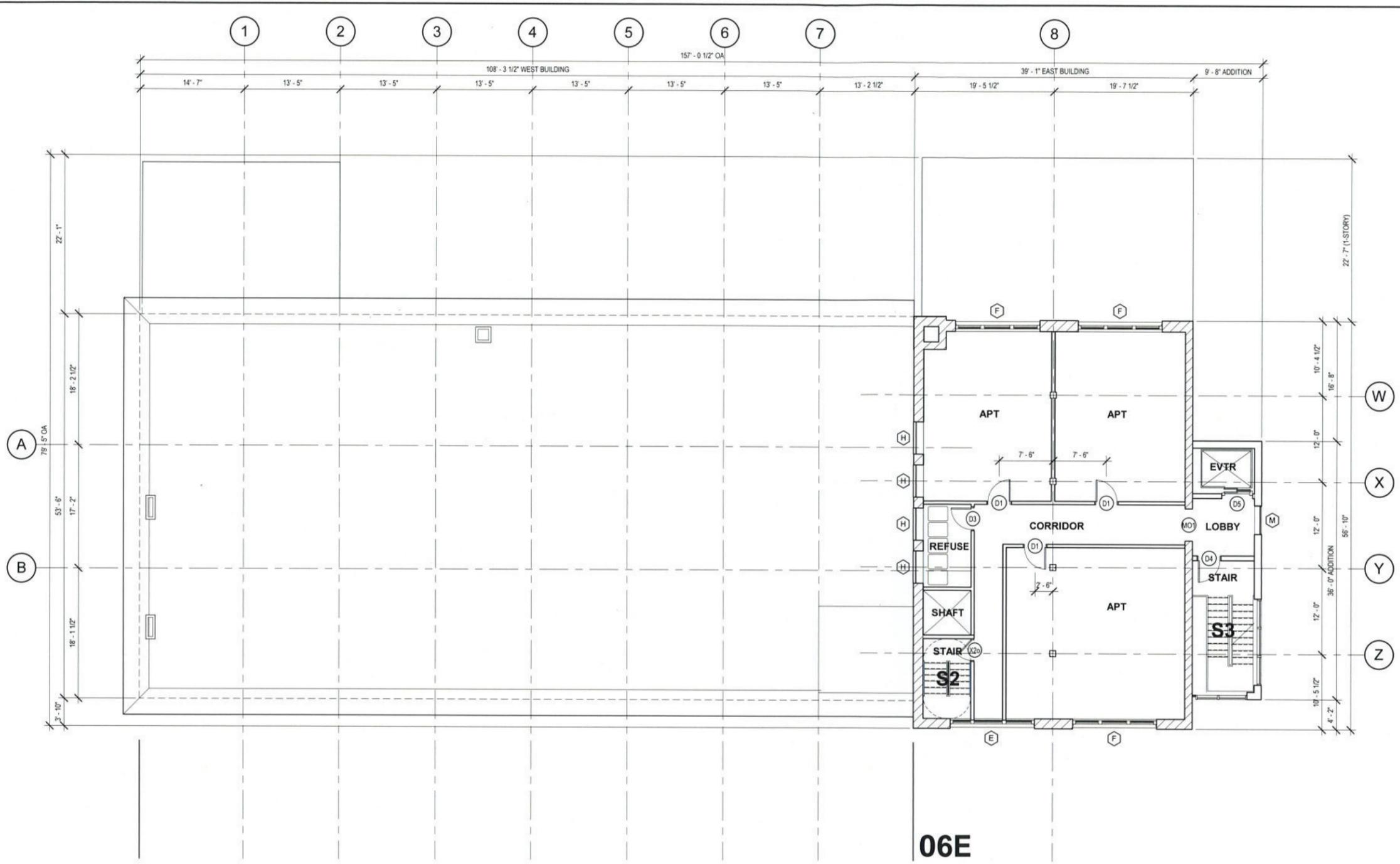


04W (roof)

05E

**1** FLOOR PLAN - FLOOR 05  
A-105 1/8" = 1'-0"

2/3/2020 10:27:05 PM



06E

**1 FLOOR PLAN - FLOOR 06**

A-106 1/8" = 1'-0"

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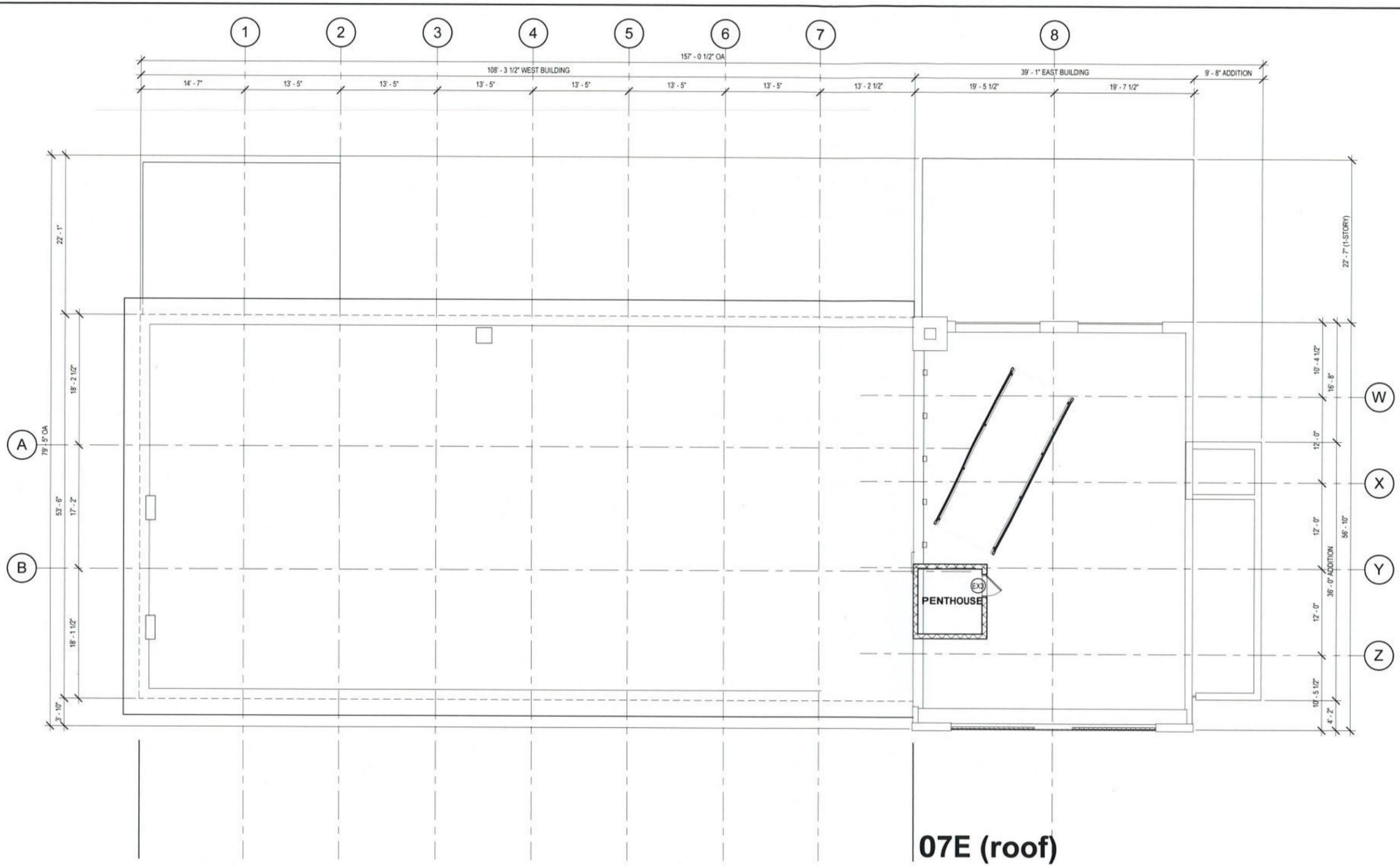
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**FLOOR PLAN  
FLOOR 06**

SHEET NUMBER

**A-106**



07E (roof)

**1** FLOOR PLAN - ROOF 07  
A-107 1/8" = 1'-0"

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**FLOOR PLAN  
ROOF 07**

SHEET NUMBER  
**A-107**

1 2 3 4 5 6 7 8



**1** SOUTH ELEVATION  
A-200 1/8" = 1'-0"

**LK** LEGEND & KEYNOTES  
A-200 NO SCALE

**SMITH  
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DEVELOPMENT**

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ARCHITECTURE SHEET TITLE  
**EXTERIOR  
ELEVATIONS  
SOUTH**

SHEET NUMBER  
**A-200**

2/16/2020 11:06:05 AM



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DEVELOPMENT

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ARCHITECTURE SHEET TITLE

**EXTERIOR  
ELEVATIONS  
WEST & EAST**

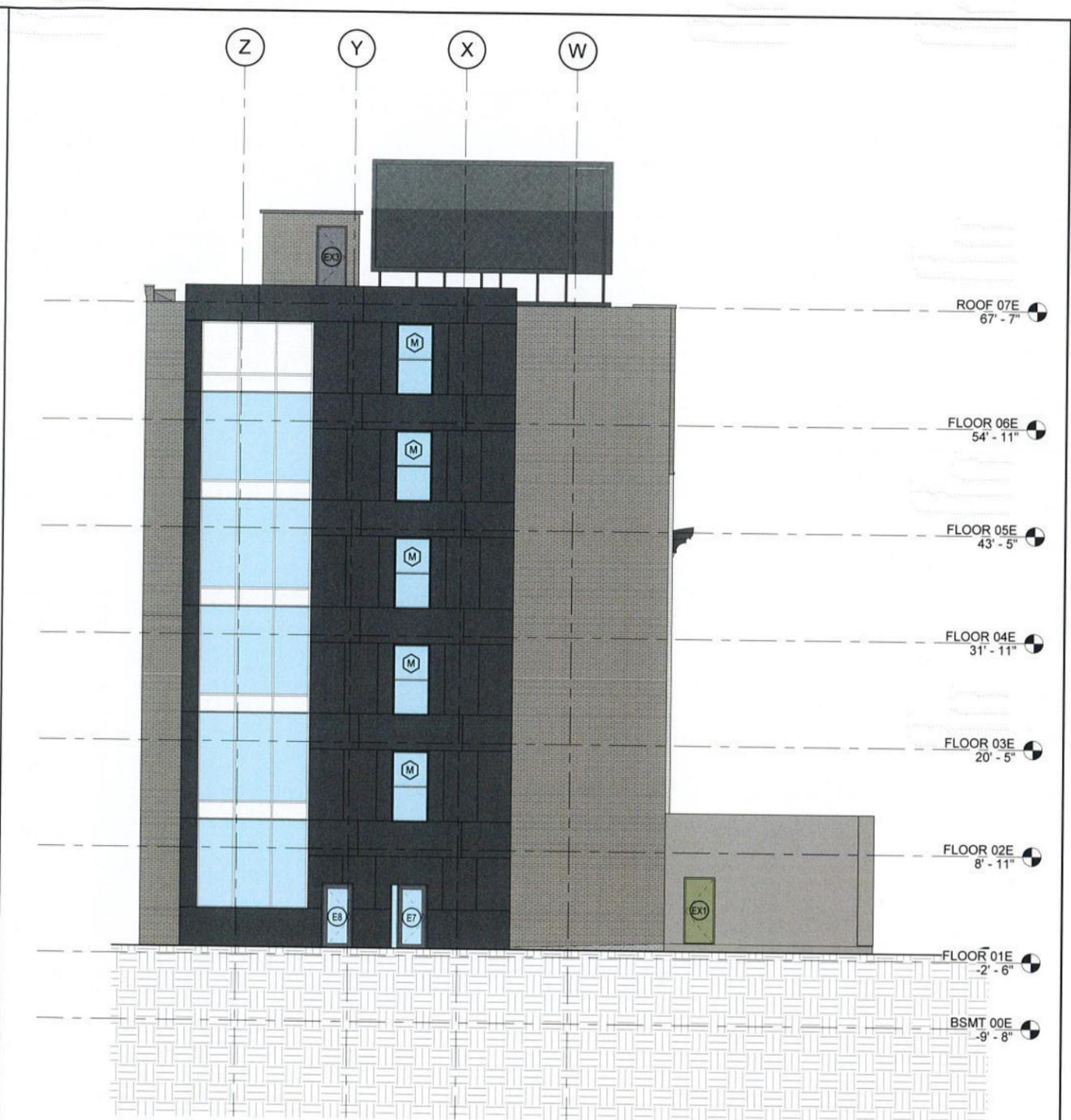
SHEET NUMBER

**A-201**



**1 WEST ELEVATION**  
A-201 1/8" = 1'-0"

**LK** LEGEND & KEYNOTES  
A-202 NO SCALE



**2 EAST ELEVATION**  
A-201 1/8" = 1'-0"

2/4/2020 11:32:09 AM



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315-471-5338

SMITH  
RESTAURANT  
SUPPLY  
PAULUS  
DEVELOPMENT

500 ERIE BLVD E,  
SYRACUSE, NY 13202

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A	02.03.20	SCHEMATIC DESIGN SUBMISSION
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ARCHITECTURE SHEET TITLE

EXTERIOR  
ELEVATIONS  
NORTH

SHEET NUMBER

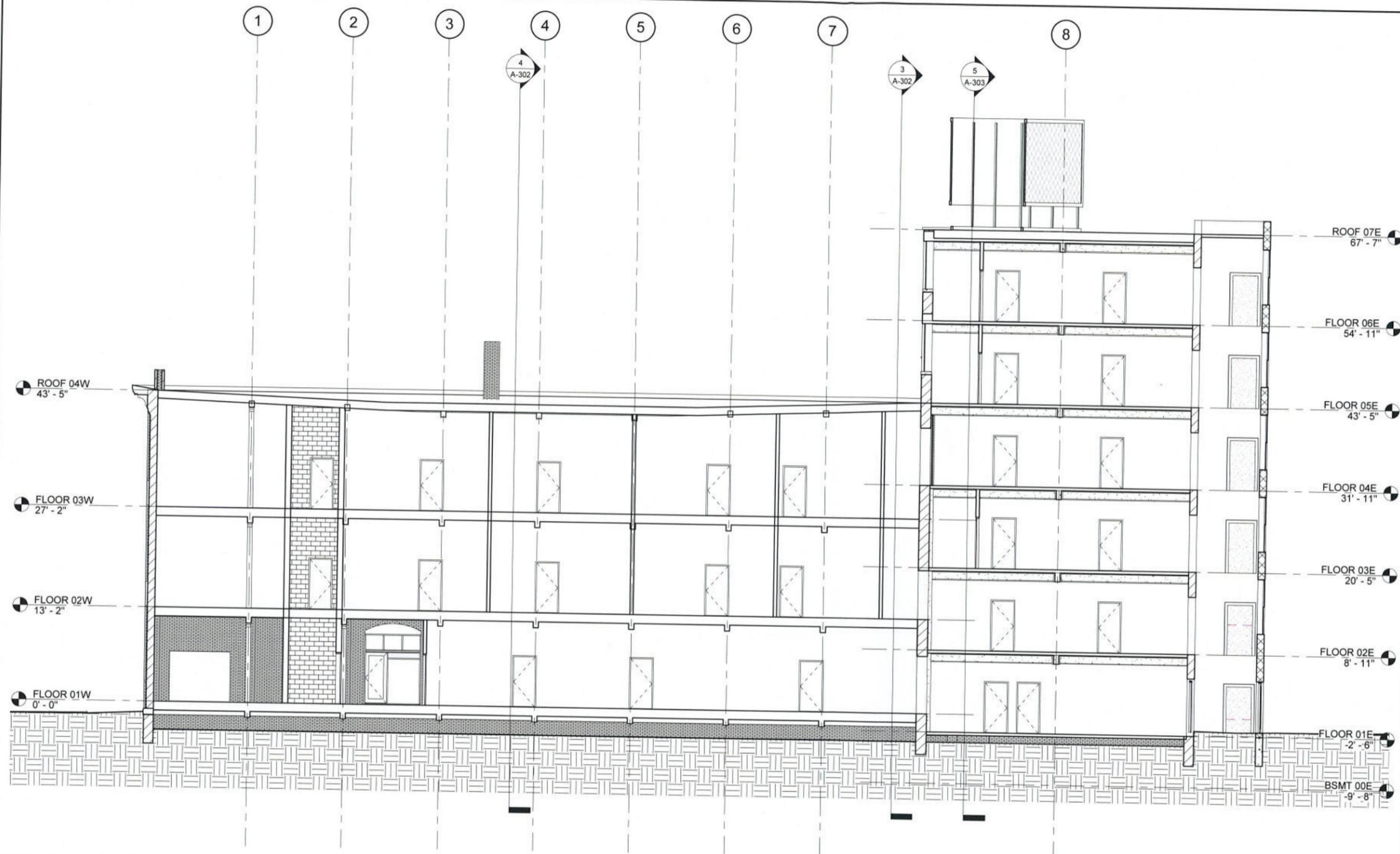
A-202



1 NORTH ELEVATION  
A-202 1/8" = 1'-0"

LK LEGEND & KEYNOTES  
A-201 NO SCALE

2/9/2020 11:33:49 AM



**1** BUILDING SECTION - LONGITUDINAL 1

A-300 1/8" = 1'-0"

**LK** LEGEND & KEYNOTES  
A-300 NO SCALE



**SMITH  
RESTAURANT  
SUPPLY  
PAULUS  
DEVELOPMENT**

500 ERIE BLVD E,  
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**PRELIMINARY**

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**SHEET ISSUES**

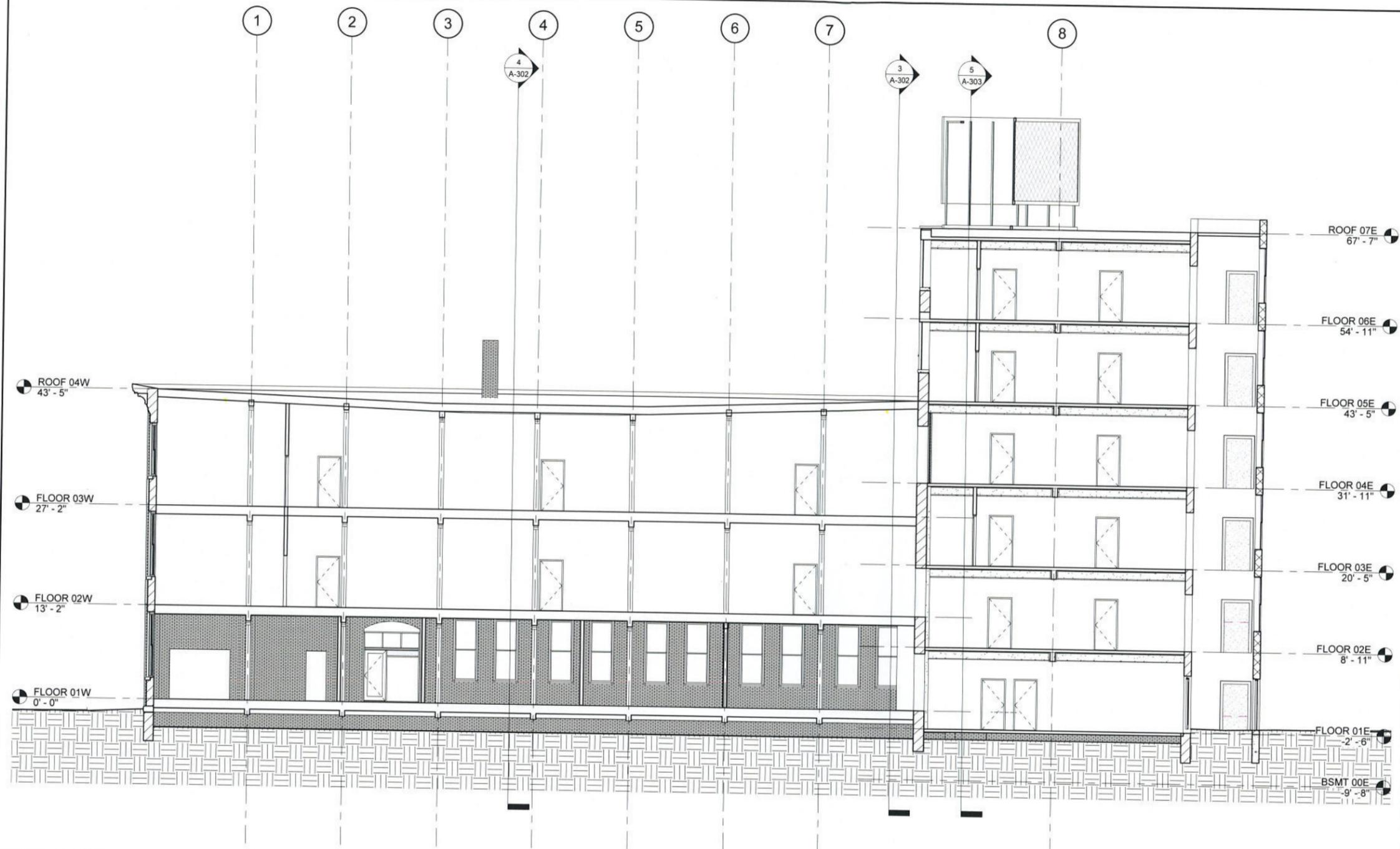
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FILE NAME	2516_Model_ARCH.rvt
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ARCHITECTURE SHEET TITLE  
**BUILDING  
SECTIONS A**  
SHEET NUMBER  
**A-300**

2/4/2020 8:37:27 AM



**2** BUILDING SECTION - LONGITUDINAL 2

A-301 1/8" = 1'-0"

**LK** LEGEND & KEYNOTES  
A-300 NO SCALE

PRELIMINARY

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ARCHITECTURE SHEET TITLE

**BUILDING  
SECTIONS B**

SHEET NUMBER

**A-301**

2/4/2019 8:37:37 AM



SMITH  
RESTAURANT  
SUPPLY  
PAULUS  
DEVELOPMENT

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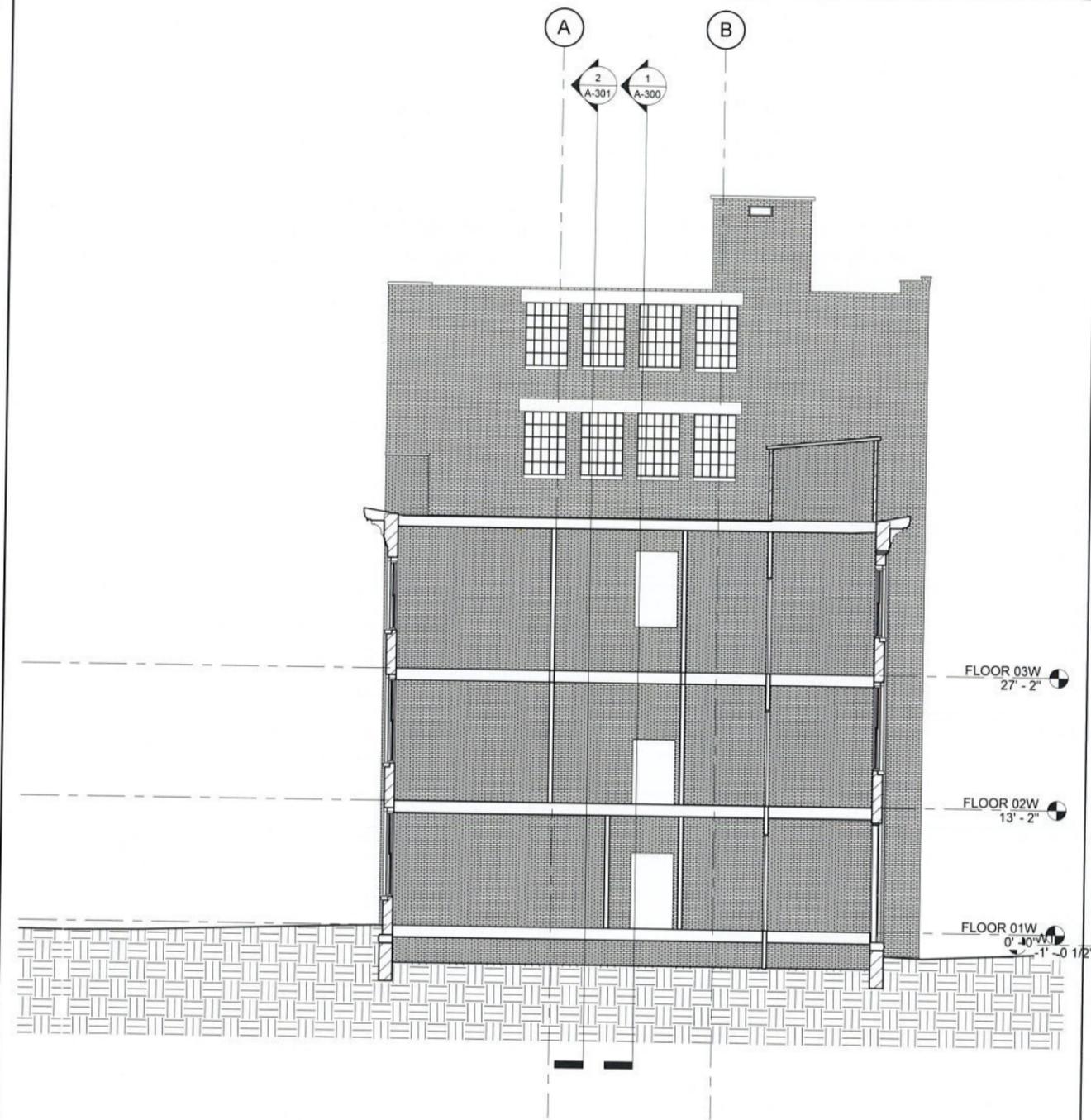
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ARCHITECTURE SHEET TITLE

BUILDING  
SECTIONS C

SHEET NUMBER

**A-302**

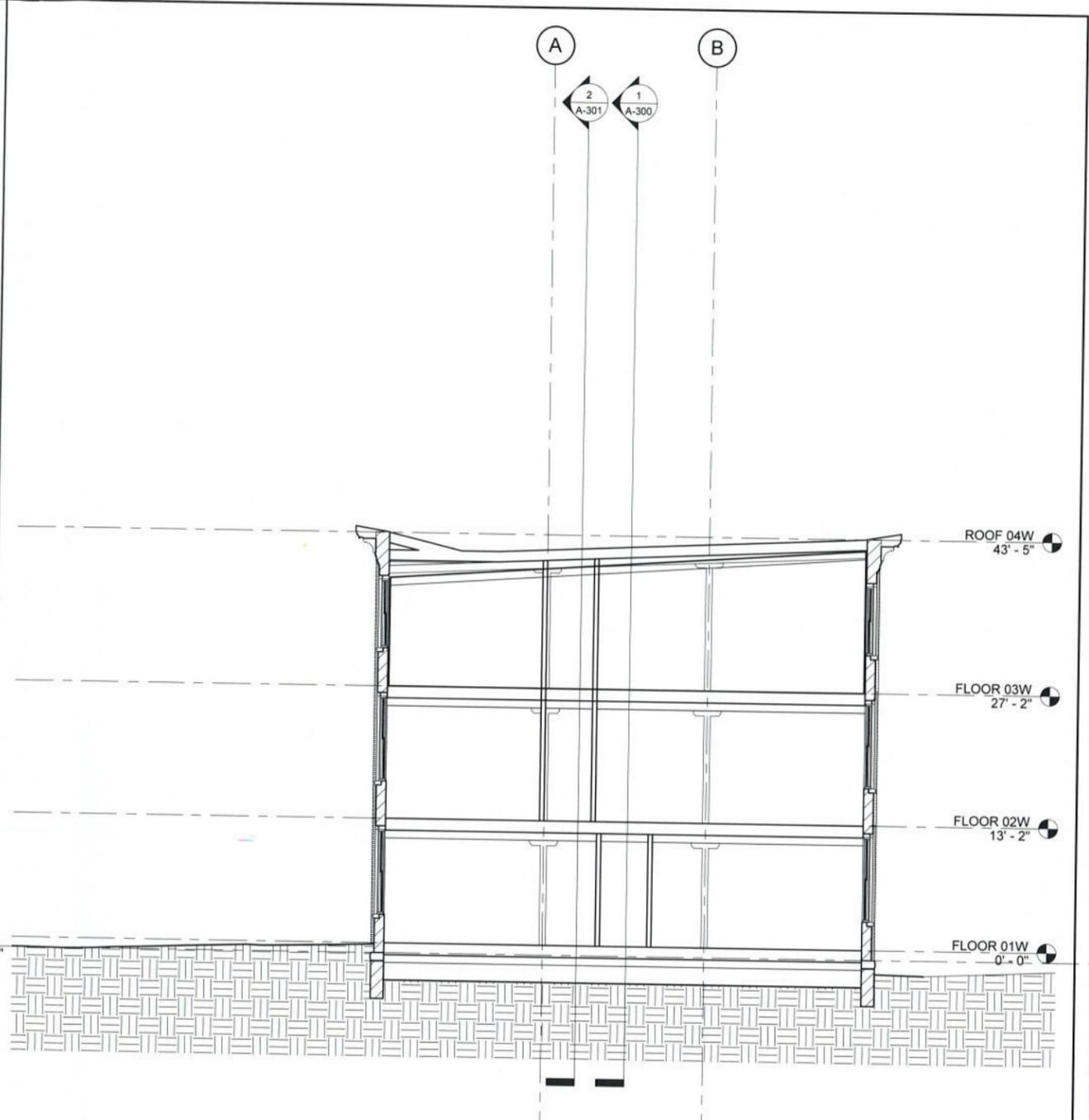


**3** BUILDING SECTION - TRANSVERSE 3

A-302 1/8" = 1'-0"

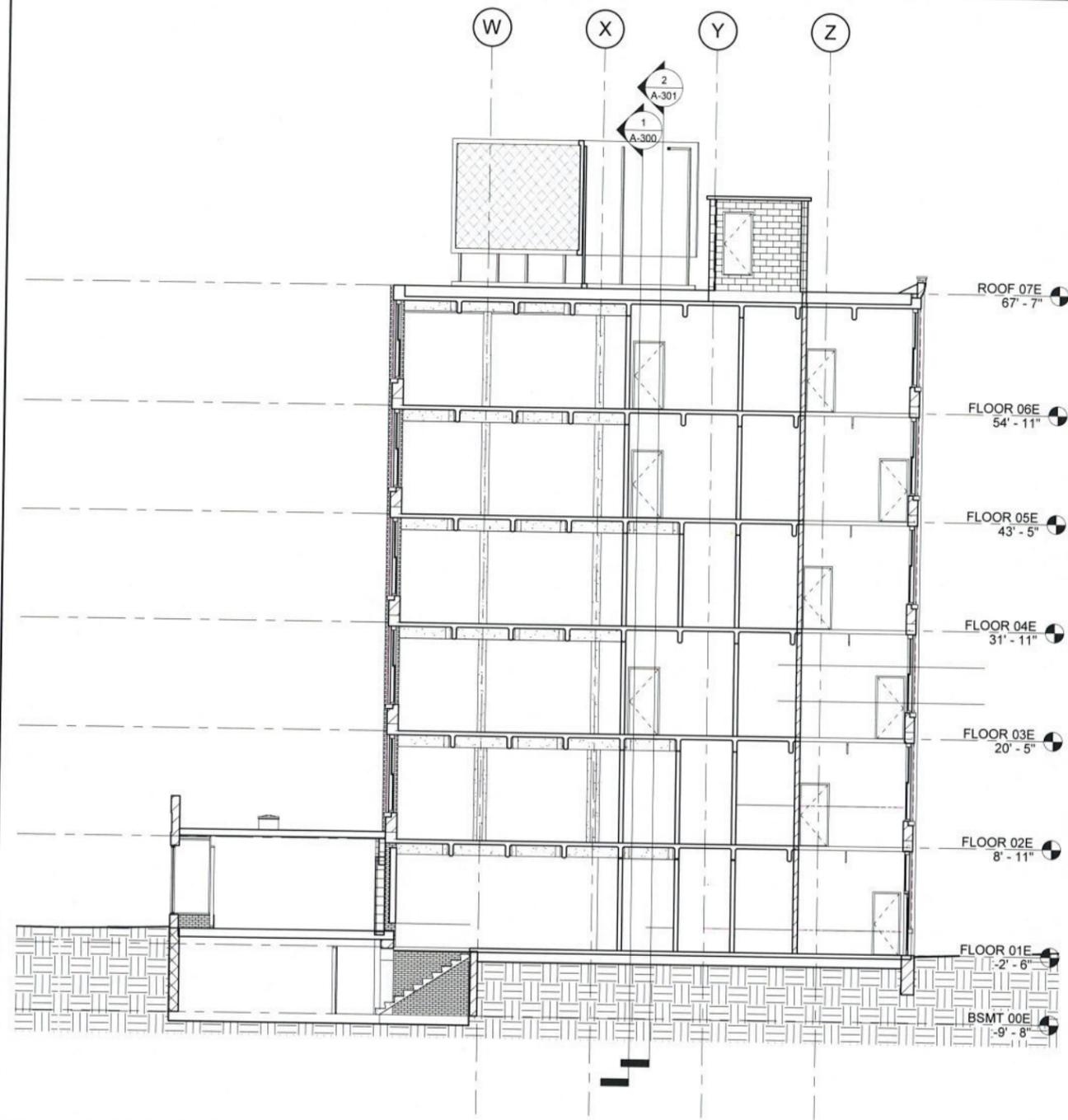
**LK** LEGEND & KEYNOTES

A-302 NO SCALE



**4** BUILDING SECTION - TRANSVERSE 4

A-302 1/8" = 1'-0"



**5** BUILDING SECTION - TRANSVERSE 5  
 A-300 1/8" = 1'-0"

**LK** LEGEND & KEYNOTES  
 A-300 NO SCALE

ONE WEBSTERS LANDING  
 SYRACUSE, NEW YORK 13202  
 315.471.5338

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 RESTAURANT  
 SUPPLY  
 PAULUS  
 DEVELOPMENT**

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**SHEET ISSUES**

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ARCHITECTURE SHEET TITLE

**BUILDING SECTIONS D**

SHEET NUMBER

**A-303**

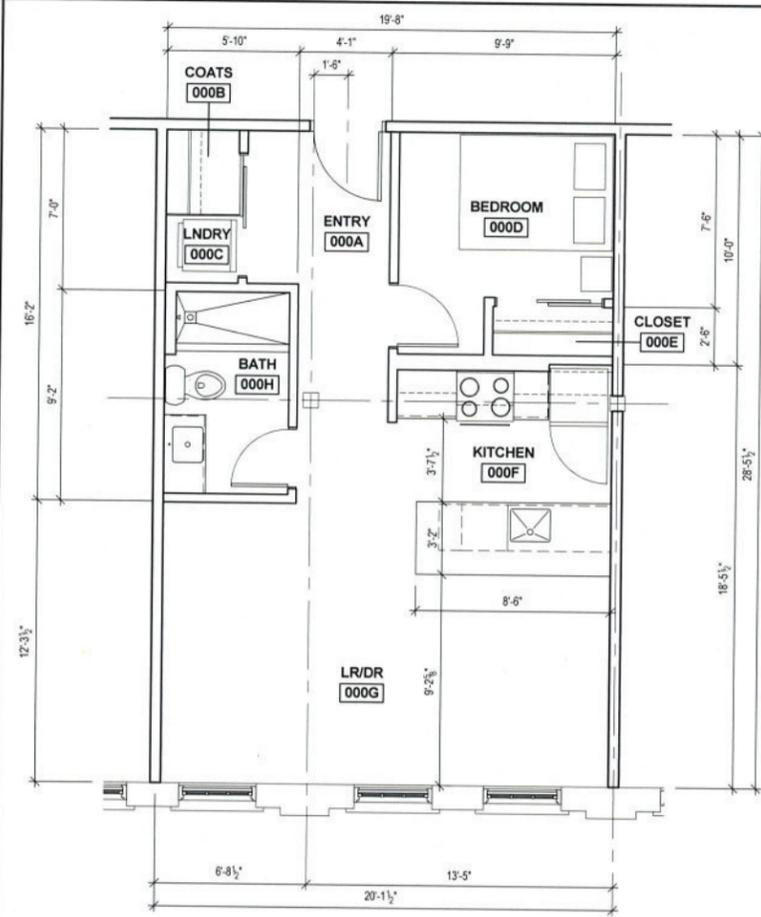


ARCHITECTURE

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315-471-5338

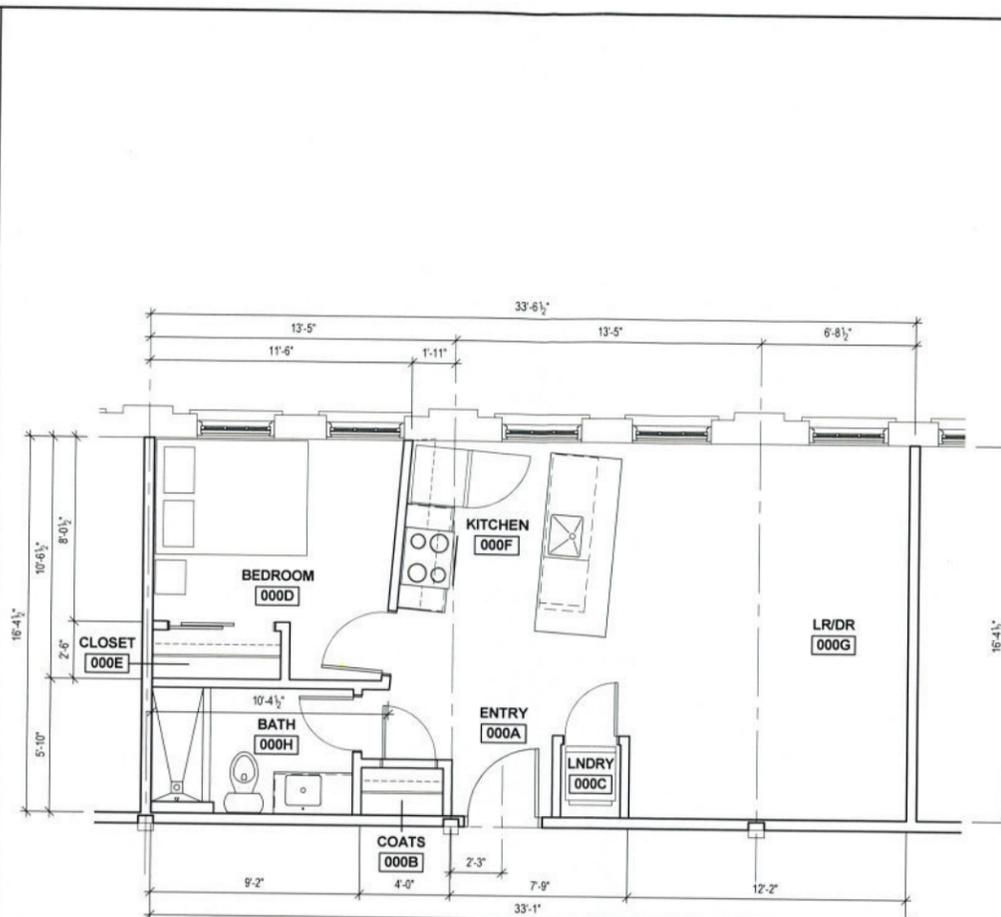
SMITH  
RESTAURANT  
SUPPLY  
PAULUS  
DEVELOPMENT

500 ERIE BLVD E,  
SYRACUSE, NY 13202



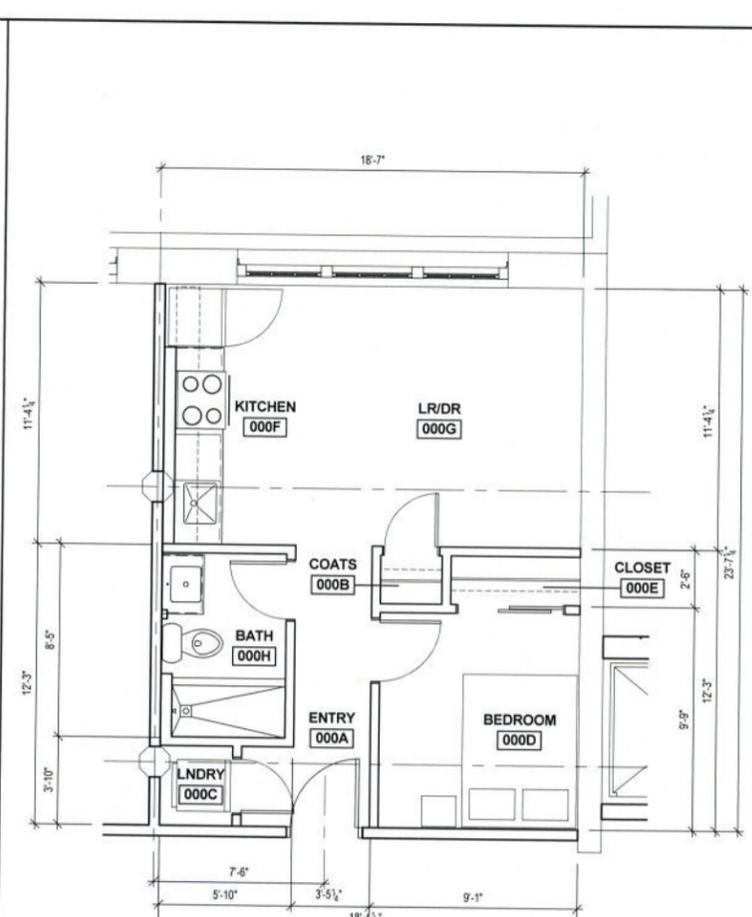
1 APARTMENT TYPE A

A-440 1/4" = 1'-0"



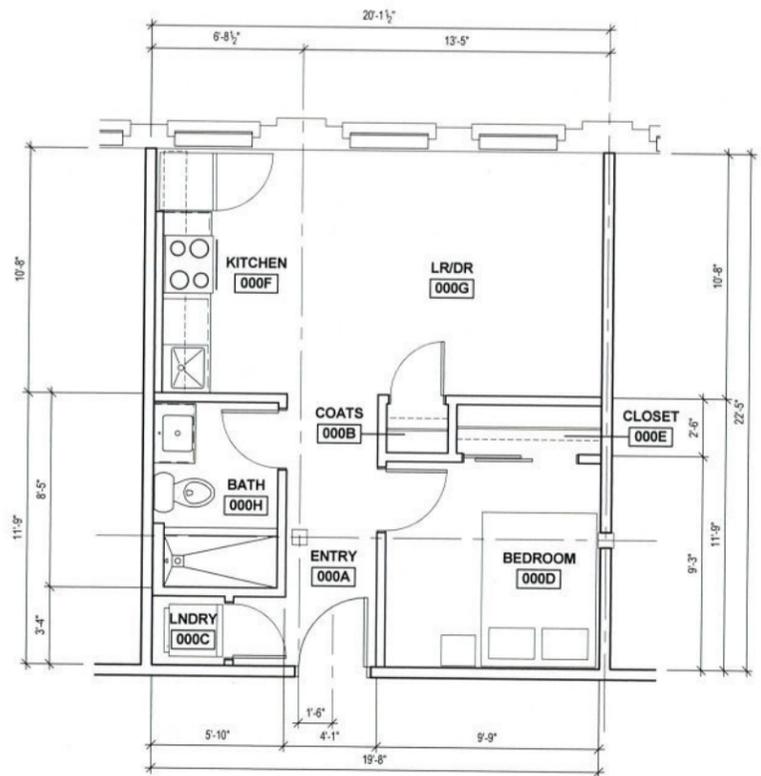
2 APARTMENT TYPE B

A-440 1/4" = 1'-0"



3 APARTMENT TYPE C

A-440 1/4" = 1'-0"



4 APARTMENT TYPE D

A-440 1/4" = 1'-0"

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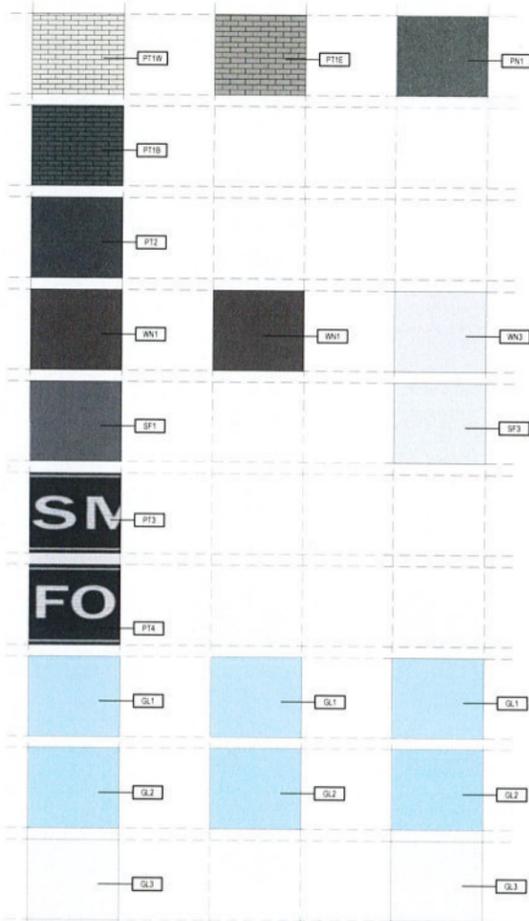
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APARTMENT  
TYPES

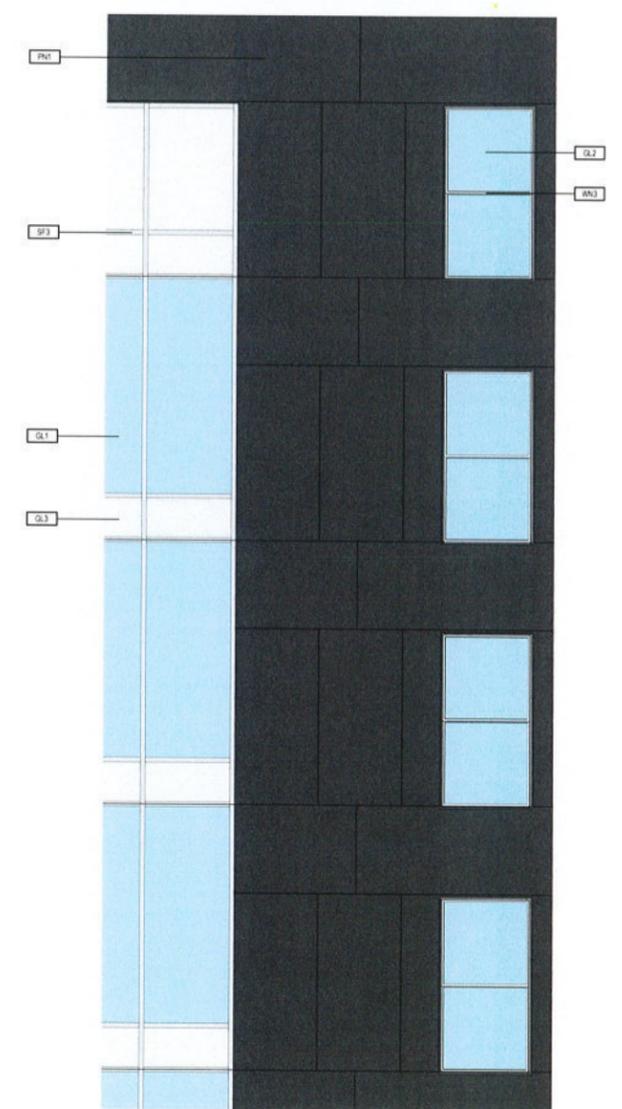
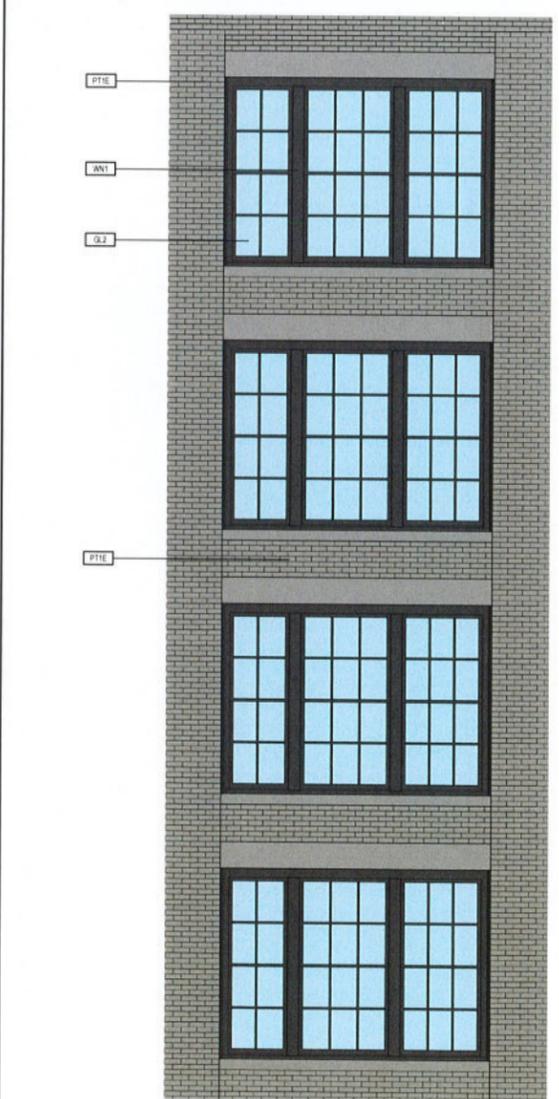
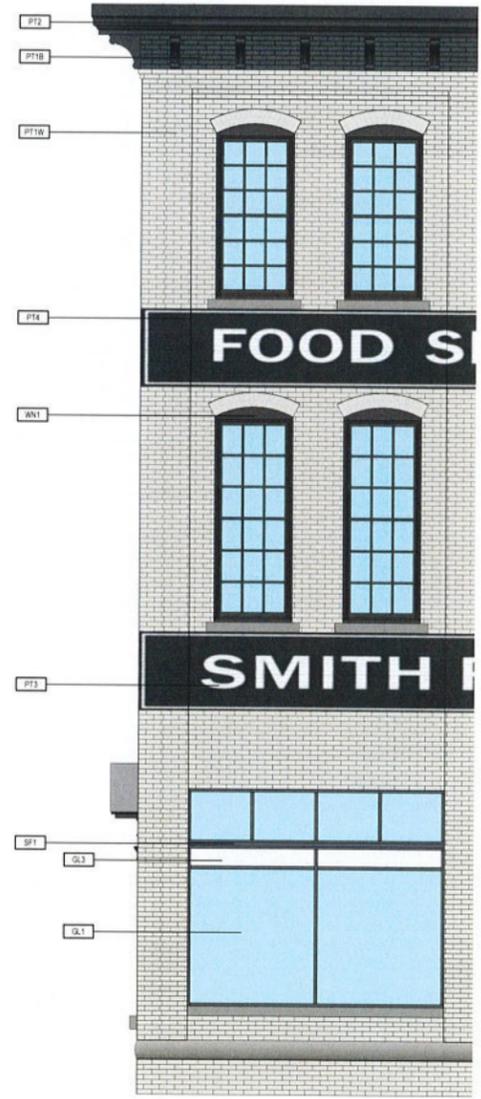
SHEET NUMBER

A-440

2/2/2020 12:07:25 PM



FINISH LEGEND - EXTERIOR						
MARK	DESCRIPTION	LOCATION	MANUFACTURER	TYPE	COLOR	REMARKS
<b>WEST BUILDING</b>						
PT1B	EXG BRICK W/ PAINT FINISH	WEST BUILDING	BENJAMIN MOORE	PAINT	KENDALL CHARCOAL HC-166	
PT1W	EXG BRICK W/ PAINT FINISH	WEST BUILDING	BENJAMIN MOORE	PAINT	COVENTRY GRAY HC-169	
PT2	EXG BRICK W/ PAINT FINISH	WEST BUILDING	BENJAMIN MOORE	PAINT	KENDALL CHARCOAL HC-166	
PT3	EXG BRICK W/ PAINT FINISH	WEST BUILDING	BENJAMIN MOORE	PAINT	SIMPLY WHITE 2143-70	
PT4	EXG BRICK W/ PAINT FINISH	WEST BUILDING	BENJAMIN MOORE	PAINT	BLACK HC-190	
SF1	Fluoropon® (70% Kynar)	WEST BUILDING	KAWNEER-VALSPAR	FACTORY COATING	CHARCOAL	Coating will meet or exceed test requirements of AAMA 2605, Voluntary Specification, Performance Requirements and Test Procedures for Superior Performing Organic Coatings on Aluminum Extrusions and Panels.
WN1	WINDOWS	WEST BUILDING	MARVIN	FACTORY COATING	EVERGREEN	
<b>EAST BUILDING</b>						
PT1E	EXG BRICK W/ PAINT FINISH	EAST BUILDING	BENJAMIN MOORE	PAINT	ROCKPORT GRAY HC-105	
<b>ADDITION</b>						
PN1	MASONRY PANELS	ADDITION	RIEDER	MASONRY PANEL	LIQUIDE BLACK	
SF3	Fluoropon® (70% Kynar)	ADDITION	KAWNEER-VALSPAR	FACTORY COATING	BONE WHITE	Coating will meet or exceed test requirements of AAMA 2605, Voluntary Specification, Performance Requirements and Test Procedures for Superior Performing Organic Coatings on Aluminum Extrusions and Panels.
WN3	WINDOWS	ADDITION	MARVIN	FACTORY COATING	STONE WHITE	
<b>*THROUGHOUT</b>						
GL1	STOREFRONTS	*THROUGHOUT		GLASS	CLEAR	
GL2	WINDOWS	*THROUGHOUT		GLASS	CLEAR	
GL3	STOREFRONTS	*THROUGHOUT		GLASS	ACID ETCHED	



**1 FINISHES KEY**  
A-630 1/4" = 1'-0"

**3 WEST BUILDING MATERIALS**  
A-630 1/4" = 1'-0"

**4 EAST BUILDING MATERIALS**  
A-630 1/4" = 1'-0"

**5 ADDITION MATERIALS**  
A-630 1/4" = 1'-0"

**PRELIMINARY**

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NO.	DATE	DESCRIPTION
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