

PLEASE TYPE OR PRINT (LEGIBLY)

For Office Use Only:	Application Number: V- 19 - 28
Tax map Section: 103. Block: 13 Lot: 01.0	Zoning District: CBD-OSR

1. Address of subject property: 500 Erie Boulevard East and Townsend Street

2. Year property was purchased by current owner: 2019

3. Applicant/contact information:

a. Owner(s) (current titleholder):

Name(s): Smith Building, LLC

Mailing Address: 225 Wilkinson Street, Syracuse, New York

Zip: 13204 Daytime phone number: 416-9566 home phone number:

E-mail (alternate contact for additional information request): matthew@paulusdevco.com

b. Contract purchaser(s) [ ], Lessee [ ], or Co-applicant [ ] (if applicable)

\*note: Copy of contract to purchase must be included with application if this contract purchaser or lessee applies.

Name(s):

Mailing Address:

Zip: Home phone number: Day Phone:

E-mail (alternate contact for additional information request):

c. Representative: Attorney [x], Architect [ ], Contractor [ ], Other [ ] (Only if involved in this application)

Name(s): Weaver Mancuso Frame PLLC, Kristy Frame

Mailing Address: 16 Oswego Street, Suite 2, Baldwinsville, NY 13027

Zip: 13027 Telephone number: 315-303-3408

4. Current use of property: (i.e., 1 family, 2 family, grocery store, etc.): Retail

Proposed use and occupancy of property: See Attachment A

Current number of onsite (off-street) parking spaces: 11 (not all are legal)

Proposed number of onsite (off-street) parking spaces: 11 with 4 on-street parking spaces

Days and hours of operation (for any business uses): Business uses are not finalized at this time.

Explain in detail what (if any) new additions or construction is proposed on the site: See Attachment A

**Reason for request:**

The courts have distinguished between use variances (for uses which are not permitted) and area variance (for excess lot coverage, additions into required yards, etc.). Be aware that *the standards of proof for a use variance are much more demanding* than for an area variance and that *the burden is on the applicant* to provide such proof in arguing their case. (See Standard of Proof requirements on required submittal page.)

Use additional sheets of paper to present proof if necessary. See Attachment A

The following affirmation must be signed and dated by the CURRENT PROPERTY OWNER or the owner's LEGAL representative (attorney, power of attorney, partner in the business, etc.).

DECLARATION

I understand that false statements made herein are **punishable as a Class A Misdemeanor, pursuant to section 210.45 of the Penal Law of the State of New York**. I declare that, subject to the penalties of perjury, any statements made on this application and any attachments are the truth and to the best of my knowledge correct.

I also understand that any false statements and/or attachments presented knowingly in connection with this application **will make consideration of this application null and void**.

11/22/19  
Date

Signature of CURRENT PROPERTY OWNER (or owner's LEGAL representative)

PAVLUS CAPITAL, LLC, ITS SOLE MEMBER

Printed or typed name of person whose signature is above (if legal representative, also state relationship to owner).

BY: MATTHEW PAVLUS  
ITS AUTHORIZED SIGNATORY

**DENIAL OF PERMIT**

REFERENCE ADDRESS 500 Erie Blvd E.

WARD NO. \_\_\_\_\_

OWNER Smith Building LLC

OWNER'S ADDRESS 225 Wilkinson St.

TELEPHONE 315-416-9566

APPLICATION FOR PERMIT TO:

erect ( ).      convert (✓)      maintain ( )      operate ( )

DENIED UNDER ARTICLE (s) PT B, Sec. IV, Article 3

of the zoning ordinance for the following reasons: Establish  
residential uses on the first floor

PLANS ATTACHED, APPROVED BY \_\_\_\_\_  
ON \_\_\_\_\_

SURVEY ATTACHED

ZONING REVIEWED BY \_\_\_\_\_

LOCATION OF REFERENCE ADDRESS:  
ASSESSOR'S ATLAS

BOOK (S) NO. \_\_\_\_\_

PLATE (S) NO. \_\_\_\_\_

PARCEL (S) NO. \_\_\_\_\_

DATE 11/25/19

SIGNATURE *Kevin Chapp*

# Short Environmental Assessment Form

## Part 1 - Project Information

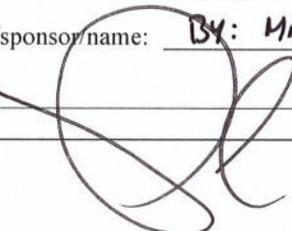
### Instructions for Completing

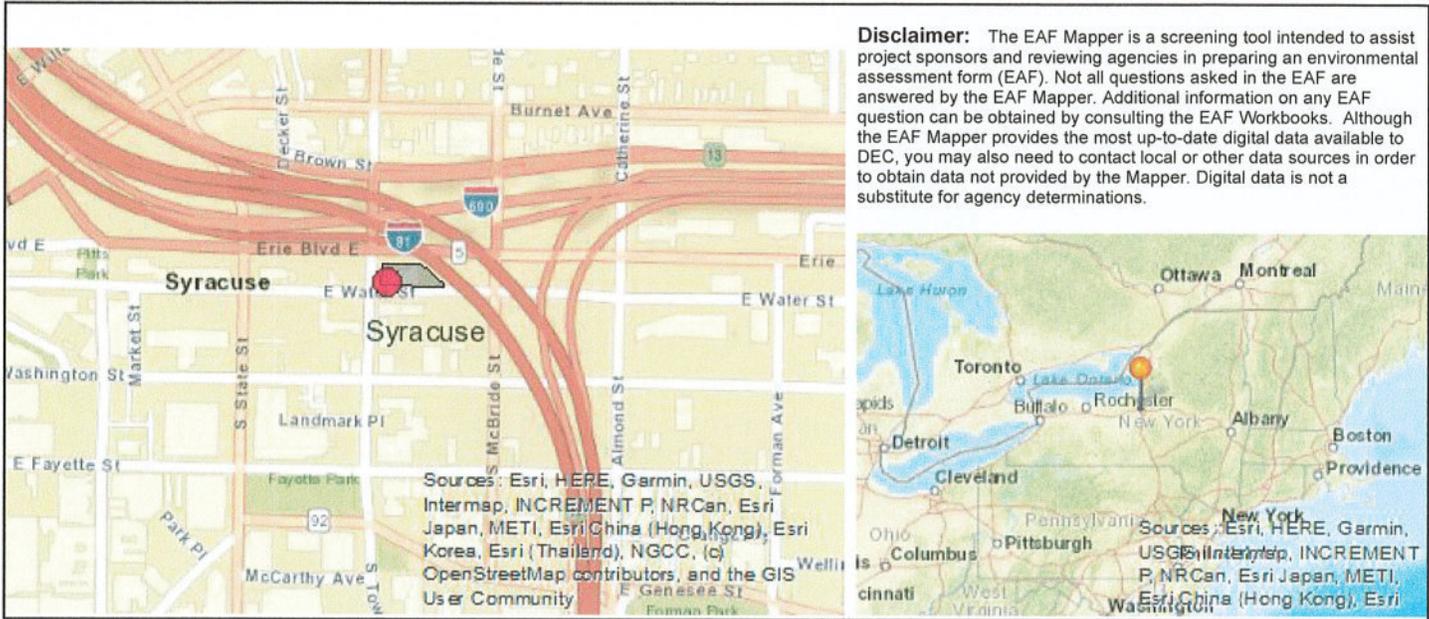
**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project: Smith Restaurant Supply Building			
Project Location (describe, and attach a location map): 500 Erie Blvd East, Syracuse, NY (Tax Map 103.-13-1.0)			
Brief Description of Proposed Action: The Smith Restaurant Supply Building is a historic rehabilitation of an existing commercial building into a mixed-use facility within the City's Central Business District. The proposed mixed-use project will include 37 residential affordable apartments, office and commercial uses. The project includes the historic rehabilitation of existing 3-story and 6-story buildings on one existing lot totaling approximately 0.334 acres of land (14,549 square feet). A proposed addition of approximately 263 square feet will be constructed on the east end of the building to accommodate a stairway and elevator for future residential occupants. The proposed action seeks a variance from Part B, Section IV, Article III(2)(f) to allow for residential apartments on the first floor of the buildings.			
Name of Applicant or Sponsor:  <i>Smith Building, LLC</i>		Telephone: (315) 416-9566	
		E-Mail: matthew@paulusdevelopment.com	
Address: 225 Wilkinson Street			
City/PO: Syracuse		State: NY	Zip Code: 13204
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: City of Syracuse Industrial Development Agency (financial assistance)			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ .25 acres b. Total acreage to be physically disturbed? _____ .25 acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ .25 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

		NO	YES	N/A
5. Is the proposed action,	a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?  b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Peregrine Falcon	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: Stormwater best practices to be utilized	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: Subject site to undergo remediation as required by NYS standards	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b> PAULUS CAPITAL, LLC, ITS SOLEMEMBER Applicant/sponsor name: <u>BY: MATTHEW PAULUS, ITS AUTHORIZED SIGNATORY</u> Date: <u>11/22/19</u> Signature:  Title: <u>AUTHORIZED SIGNATORY</u>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	Yes
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Peregrine Falcon
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes

## Attachment A

**Item 4: Proposed use and occupancy of the Property:** The Smith Restaurant Supply Building is a historic rehabilitation of an existing commercial building (zoned CBD-OSR) into a mixed-used building within the City's Central Business District. The proposed mixed-use building will include residential and commercial uses. The residential uses will include a minimum of 37 affordable apartments. The commercial uses are not finalized, but based upon preliminary conversations they will include retail, office and/or fitness uses.

**Item 4: Explain in detail what (if any) new additions or construction is proposed on the site:** The project includes the historic rehabilitation of existing 3-story and 6-story buildings on one existing lot totaling approximately 0.334 acres of land (14,549 square feet). A proposed addition of approximately 263 square feet will be constructed on the east end of the building to accommodate a stairway and elevator for future residential occupants. Site improvements will also include sidewalk construction, tree pits, lighting, and parking landscape buffer areas.

### Standards of Proof:

NY City Law provides that an applicant seeking an area variance need not demonstrate that denial of the variance will cause unnecessary hardship. Rather, the ZBA must balance the benefit to the applicant against any detriment to the health, safety, and welfare of the neighborhood or community as set forth in General City Law § 81-b(4). In evaluating whether to issue an area variance, a zoning board is required to consider following criteria:

1. Whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance;
2. Whether the benefit sought by the applicant can be achieved by some method feasible for the applicant to pursue, other than an area variance;
3. Whether the requested area variance is substantial;
4. Whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and
5. Whether the alleged difficulty was self-created, which consideration is relevant to the decision of the board of appeals, but shall not preclude the granting of the area variance.

No one factor is determinative as to whether the area variance should be granted. Furthermore, the area variance should be granted when a majority of the factors favor the

applicant. The Applicant submits that a balancing of the area variance factors weighs in favor of granting an area variance for the reasons set forth below:

**1. Whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the variance:**

Granting the area variance will not produce an undesirable change in the character of the neighborhood. The Smith Restaurant Supply Building is a historic rehabilitation of an existing commercial building (zoned CBD-OSR) into a mixed-used building within the City's Central Business District. The uses contemplated by the project (i.e., residential and commercial uses) are permitted as of right in the underlying zoning district, with a minimal variance being necessary to allow for residential on the first floor of the existing buildings. Thus, the uses are consistent with a pattern of development in the neighborhood and will not be a detriment to nearby properties.

**2. Whether the benefit sought by the applicant can be achieved by some method which will be feasible for the applicant to pursue but would not require a variance:**

The benefit cannot be achieved by some other feasible method. The Applicant included a pro forma showing the project with the first full floor being commercial use. As is demonstrated in the pro forma, the project is not feasible without some residential use on the first floor. Accordingly, there is no other method by which the Applicant could create an affordable housing project in this building without some residential use on the first floor.

**3. Whether the requested area variance is substantial:**

The amount of the variance is not substantial, but amounts to a minimal and reasonable deviation from the City's regulations in the context of the overall development of the project. 6,422 square feet of the 9,051 total square footage of the first floor will be used for residential purposes. Although the requested variance is a 71% deviation, the footprint of the current structure is not being significantly expanded upon (i.e., only an additional 263 square feet is proposed for a stairway and elevator for future residential occupants) due to the historical nature of the building. Thus, the requested variance is not substantial given the variance is to allow for expansion of residential use internal to the existing structures, and will otherwise not impact the adjacent properties and character of the surrounding neighborhood.

**4. Whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district:**

The variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood. The consideration before the Board is whether the dimensional alteration being proposed will result in a structure or a configuration that will be seriously out of place in the neighborhood. As this Project has a minimal dimensional alteration to the building (i.e., 263 square feet for a stairway and elevator for future residential occupants), there will be no adverse impact on the physical or environmental conditions in the neighborhood. These minimal exterior improvements will have no appreciable impact on physical or environmental conditions in the area. Any proposed construction of the project will not cause environmental problems, as all such construction will be undertaken in accordance with applicable law, including the New York State Environmental Quality Review Act, New York State Department of Environmental Conservation and historic preservation guidelines.

**5. Whether an alleged difficulty is self-created:**

Due to the fact that the building is an historical building and therefore subject to various additional restrictions, the difficulty in developing a feasible project to repurpose the existing buildings necessitating the need for a variance is not self-created. What can be done with the building is strictly limited by its historical nature. Regardless, a self-created hardship is not, in and of itself fatal to the granting of an area variance, especially where the remaining factors as discussed above weigh in favor of granting a variance. The benefit to the applicant - the opportunity to use his property for a permitted use and to develop a mixed-use project for the benefit of the community - outweighs any detriment to health, safety and welfare of the neighborhood.

# PAULUS DEVELOPMENT

November 22, 2019

Office of Zoning Administration  
City Hall Commons  
201 East Washington Street, Room 500  
Syracuse, NY 13202

**RE: Variance Application – 500 Erie Boulevard East and Townsend Street**

Syracuse Board of Zoning Appeals,

Enclosed please find the Variance Application, Attachment A to the Variance Application, and Part I of the Short Environmental Assessment Form (collectively the “Application”) for 500 Erie Boulevard East and Townsend Street (the “Building”). Currently, the Building is the principal place of business for the Smith Restaurant Supply.

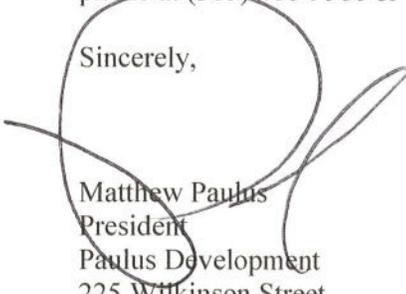
Smith Building, LLC (the “Owner”) is proposing to historically rehabilitate the Building – currently zoned CBD-OSR – into a mixed-use building within the City’s Central Business District. The proposed mixed-use building will include residential and commercial uses.

The residential uses will include a minimum of 37 affordable apartments, which on average, will be affordable to households earning 80% of Average Median Income (“AMI”). Additionally, 20% of the proposed apartments will be affordable to households earning 65% of AMI.

The commercial uses are not finalized, but based upon preliminary conversations they will include retail, office and/or fitness uses. At this time, the hours of operation, the number of employees at the Building at one time, and the items to be sold at the Building aren’t known.

Should you need any additional information for the Application, please feel free to reach out to me via phone at (315) 416-9566 or via email at [matthew@paulusdevelopment.com](mailto:matthew@paulusdevelopment.com).

Sincerely,



Matthew Paulus  
President  
Paulus Development  
225 Wilkinson Street  
Syracuse, New York 13204

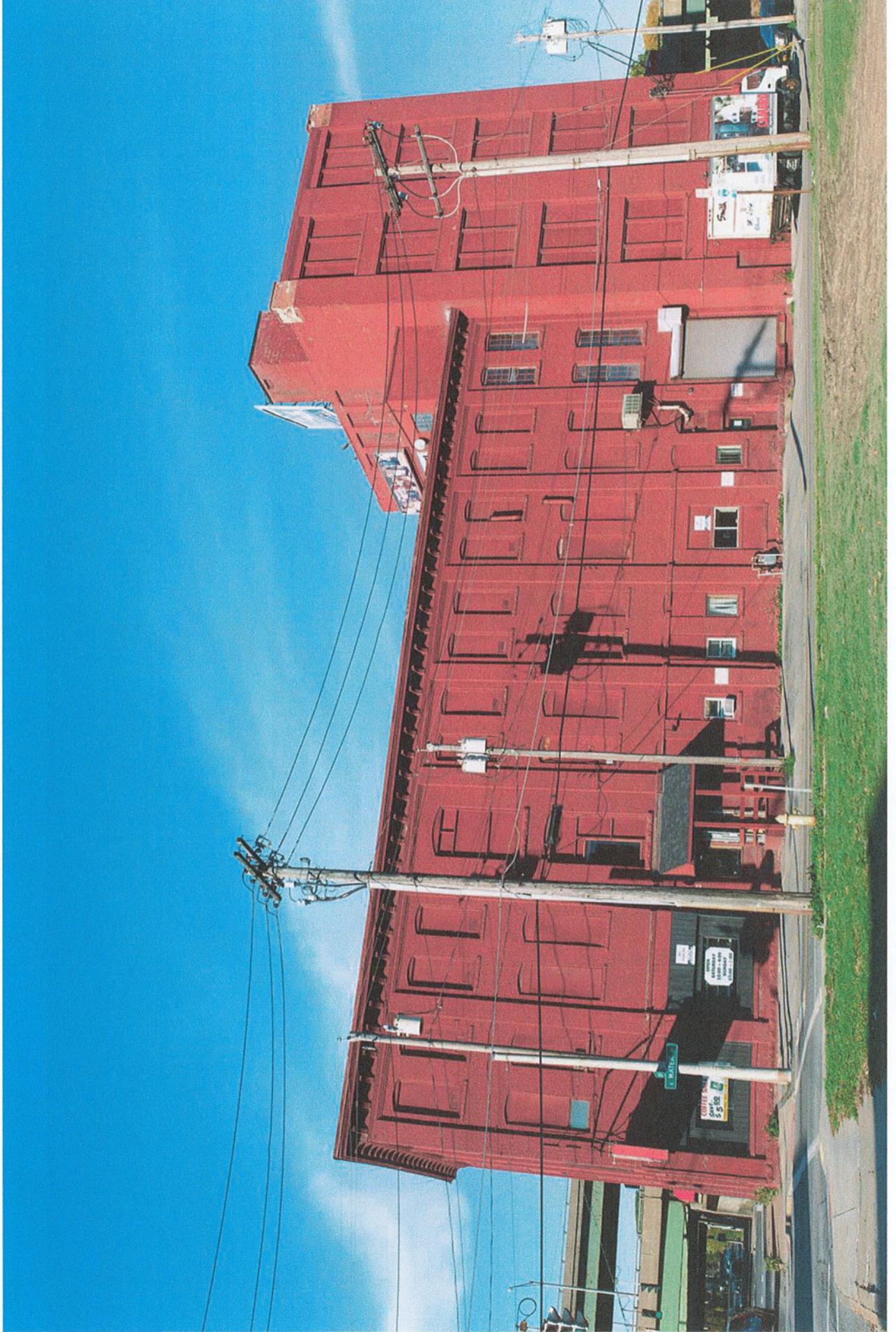
# Smith Restaurant Supply Building



# Smith Restaurant Supply Building



# Smith Restaurant Supply Building



# Smith Restaurant Supply Building



# Smith Restaurant Supply Building

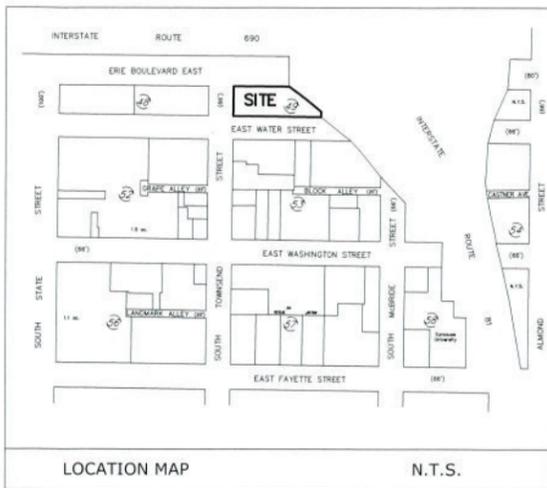


Smith Restaurant Supply Building



# Smith Restaurant Supply Building





Notes to Title Commitment No. FTA-19-120EC

10. Easement granted by Jeanne Serling, Arnold Hodas and Lester Serling as Trustees to the New York Telephone Company dated December 18, 1990 and recorded February 27, 1991 in Book 3680 of Deeds at Page 83. (plotted)

Encroachments

- A. ASPHALT DRIVE EXTENDS ONTO 1690 ROW UP TO 2.5'
- B. BUILDING EXTENDS INTO STREET LINES AS SHOWN.

Modern Legal Description

ALL THAT CERTAIN PIECE OR PARCEL OF LAND situate in the City of Syracuse, County of Onondaga, State of New York, being part of City Block 49 & part of the former Erie Canal lands and being more particularly bounded and described as follows:

Beginning at a point in the northerly line of East Water Street at the intersection with the easterly line of South Townsend Street; thence North 00 deg. 21 min. 30 sec. East along the said easterly line of South Townsend Street, a distance of 73.80 feet to a point in the southerly line of Erie Boulevard East; thence South 89 deg. 30 min. 50 sec. East along the said southerly line of Erie Boulevard East, a distance of 147.08 feet to a point in the westerly line of Interstate Route 81; thence southerly along the said westerly line of Interstate Route 81, along a curve to the right having a radius of 1091.57 feet, length of 107.53 feet and chord of South 52 deg. 47 min. 00 sec. East, 107.48 feet to a point in the said northerly line of East Water Street; thence North 89 deg. 30 min. 50 sec. West along said northerly line of East Water Street, a distance of 233.08 feet to the point of beginning. Containing 0.334 acres of lands, more or less.

The described property is the same property described in Fitch Title Agency, Inc. Commitment for Title Insurance Number: FTA-19-128EC, with an effective date of April 15, 2019.

Miscellaneous Notes

- 1.) NORTH ORIENTATION/BEARINGS ARE BASED ON CITY OF SYRACUSE ROW PLATES LOCATED IN THE OFFICE OF THE CITY OF SYRACUSE ENGINEERING DEPARTMENT.
- 2.) VERTICAL DATUM BASED ON NAVD 1988 DATUM PER RTK GPS OBSERVATIONS.
- 3.) THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY C. T. MALE ASSOCIATES ENGINEERING, SURVEYING ARCHITECTURE, LANDSCAPE ARCHITECTURE & GEOLOGY, D.P.C., TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHTS OF WAY, AND TITLE, REFERENCE IS MADE TO A TITLE COMMITMENT BY FITCH TITLE AGENCY, INC. TITLE No. FTA-19-120EC, EFFECTIVE DATE OF APRIL 15, 2019. THIS SURVEY IS SUBJECT TO ALL EASEMENTS, COVENANTS, AND RESTRICTIONS AS RECITED THEREIN AND IS FURTHER SUBJECT TO ANY FINDINGS OR TRANSACTIONS REVEALED OR CONDUCTED FROM THE DATE OF SAID CONTINUATION TO THE PRESENT.
- 4.) PARCEL LIES IN "ZONE X" (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) COMMUNITY PANEL 36067C02177; EFFECTIVE DATE OF NOVEMBER 4, 2016.
- 5.) SURVEY WAS PERFORMED IN THE FIELD ON MAY 22, 2019.
- 6.) UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM DATA OBTAINED BY FIELD SURVEY, PREVIOUS MAPS AND RECORDS, (AND PAROL TESTIMONY), THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER UNDERGROUND UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN TO THE UNDERSIGNED. SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES MUST BE VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION.
- 7.) THERE ARE 11 STRIPED PARKING SPACES ON THE SUBJECT PARCEL.
- 8.) BOUNDARY LINE DIMENSIONS AS SHOWN ON THE SURVEY FORM A MATHEMATICALLY CLOSED FIGURE WITH A CLOSURE ERROR OF LESS THAN 0.1 FOOT +/-.
- 9.) REFERENCE MAP: 500 ERIE BOULEVARD EAST PREPARED BY JANUZI & ROMANS LAND SURVEYING, P.C. DATED APRIL 22, 2019.
- 10.) NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR ADDITIONS WERE FOUND.
- 11.) NO EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL WAS NOTED.
- 12.) NO PROPOSED CHANGES TO STREET RIGHT OF WAY OR RECENT REPAIRS TO STREET WERE FOUND. ERIE BOULEVARD EAST, SOUTH TOWNSEND STREET AND EAST WATER STREET ARE PUBLIC HIGHWAYS.
- 13.) NO WETLAND AREAS WERE OBSERVED IN FIELD AND NO WETLAND DELINEATION WAS FOUND IN FIELD.
- 14.) C.T. MALE MAINTAINS PROFESSIONAL LIABILITY INSURANCE AND E&O COVERAGE OF A MINIMUM OF \$1,000,000.
- 15.) SITE HAS LEGAL ACCESS TO ERIE BOULEVARD EAST, TOWNSEND STREET AND EAST WATER STREET WHICH ARE PUBLIC HIGHWAYS. SITE HAS A CURB CUT TO ERIE BOULEVARD EAST AND EAST WATER STREET.
- 16.) PARCEL IS AT THE INTERSECTIONS OF ERIE BOULEVARD EAST, SOUTH TOWNSEND STREET AND EAST WATER STREET.
- 17.) NO OBSERVED CEMETERIES WITHIN 100' OF SURVEYED PARCEL.

Schedule "A" - Legal Description (Commitment No.: FTA-19-120EC)

ALL THAT PIECE OR PARCEL OR ERIE CANAL LANDS, situate in the City of Syracuse, County of Onondaga and State of New York, lying north of and adjacent to Block 49 in the said City of Syracuse, described as follows: Beginning at the point of intersection of the southerly Blue Line of the Erie Canal and the easterly line of Townsend Street; thence N 0° 21' 30" E 18.8 feet in said easterly street line to the southerly line of a proposed street 80 feet in width; thence S 89° 43' 40" E 109.58 feet in said proposed street line to the northerly prolongation of the division line between the Anson Realty Co., Inc. and Markson Bros., Inc.; thence S 01° 21' 0" W 18.8 feet in said prolongation line to the southerly Blue Line of the Erie Canal; thence N 89° 43' 40" W 109.58 feet in said Blue Line to the place of beginning, containing 2060 square feet of land, more or less.

ALSO, ALL THAT TRACT OR PARCEL OF LAND, situate in the City of Syracuse, County of Onondaga and State of New York known and distinguished as part of lot number two (2) of Block number forty-nine (49) of said city, bounded and described as follows: Beginning at the southwest corner of said block thence east along the south line thereof about one hundred nine (109) feet to a point in line with the east face of the east wall of the three-story brick building now standing upon the herein described premises; thence north parallel with the west line of said block and along the east face of said wall about fifty-four (54) feet to the line of lands appropriated to the Erie Canal; thence westerly along the said line about one hundred nine (109) feet to the west line of the block thence south to the place of beginning.

ALSO, ALL THAT OTHER TRACT, PIECE OR PARCEL OF LAND conveyed to Smith Restaurant Supply Co Inc by the City of Syracuse by deed dated March 10, 1948 and recorded in the Onondaga County Clerk's Office on March 11, 1948 in Book 1320 of Deeds, at Page 284, and described as

All that tract or parcel of land situate in Block No. 49 in the City of Syracuse, New York, and being all that tract or parcel of land commencing at a point at the southwest corner of said Block and 109.58 feet easterly therefrom lying between the southerly Blue Line of Erie Canal and the northerly line of Water Street, said Blue Line being shown on Blue Line Maps Nos 389 and 409 inclusive, accompanying Sheet "K" made pursuant to the provisions of Chapter 199 of the Laws of 1910 and amendatory laws, said maps and sheet being now on file in the Office of the Department of Public Works of the State of New York.

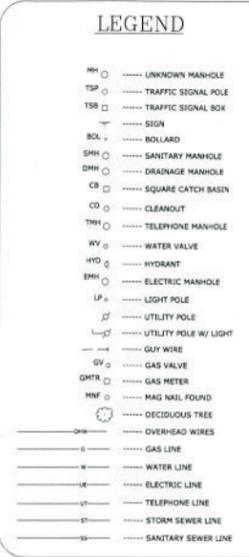
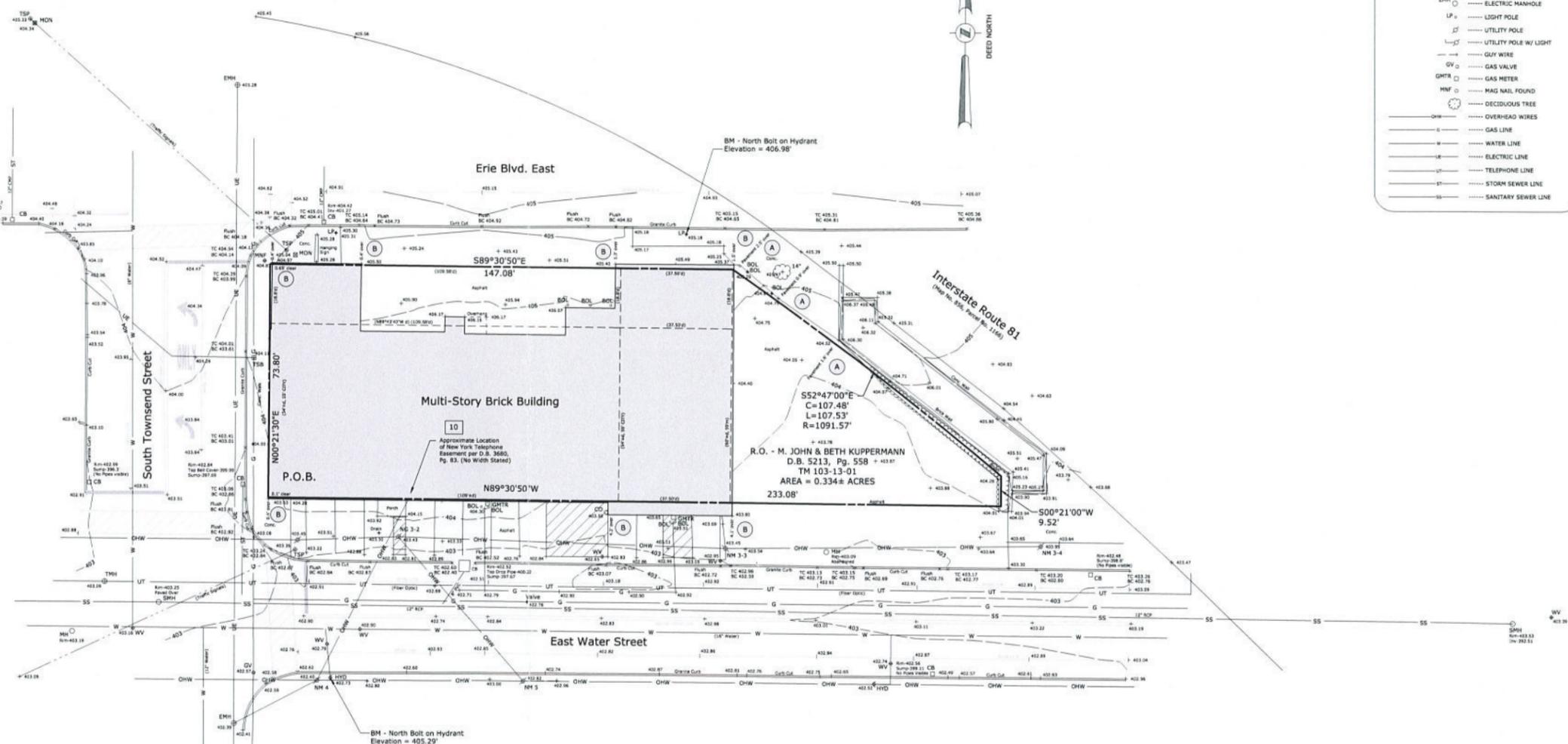
ALSO, ALL THAT TRACT OR PARCEL OF LAND situate in the City of Syracuse, County of Onondaga, State of New York, known and distinguished as part of Lots Numbers One (1) and Two (2) of Block No. Forty-nine (49) in said City and bounded and described as follows: Beginning at a point in the present north line of East Water Street as established by a resolution of the Common Council recorded in Onondaga County Clerk's Office May 29, 1895, in Book "Q" of Miscellaneous Records at page sixty-nine (69) two hundred forty nine and one quarter (249 1/4) feet west from the south line of Orange Street thence northerly at right angles to Water Street sixty (60) feet more or less to the lands appropriated to the Erie Canal; thence westerly along the lands of the Erie Canal about thirty-seven and one-half (37 1/2) feet to the east face of the east wall of the three story brick building located on the premises next west of the herein described premises thence southerly at right angles to Water Street and along the east face of said brick wall to the present northerly line of Water Street thence east on the said north line about thirty-seven and one-half (37 1/2) feet to the place of beginning.

ALSO, ALL THAT TRACT OR PARCEL OF LAND OF ERIE CANAL LAND, situate in the City of Syracuse, County of Onondaga and State of New York, lying north of and adjacent to Block 49 in the said City of Syracuse, described as follows: Beginning at the point of intersection of the southerly Blue Line of the Erie Canal with division line between the Anson Realty Co Inc and Markson Bros Inc thence N 0° 21' 0" E 18.8 feet in the prolongation of said division line to the southerly line of a proposed street 80 feet in width thence S 89° 43' 40" E 37.50 feet in said proposed street line to the northerly prolongation of the division line between Markson Bros Inc and the Penfield Manufacturing Company thence S 0° 21' 0" W 18.8 feet in said prolongation line to the Blue Line of the Erie Canal thence N 89° 43' 40" W 37.50 feet in said Blue Line to the place of beginning.

ALSO, ALL THAT TRACT OR PARCEL OF LAND situate in Block 49 in the City of Syracuse New York and being all that tract or parcel of land commencing at a point two hundred forty-nine and one-quarter (249 1/4) feet west from the west line of Orange Street and thirty-seven and one-half (37 1/2) feet westerly therefrom lying between the southerly Blue Line of Erie Canal and the northerly line of Water Street; said Blue Line being shown on Blue Line Maps Nos 389 and 409 inclusive, accompanying Sheet "K", made pursuant to the provisions of Chapter 199 of the Laws of 1910 and amendatory laws, said maps and sheet being now on file in the Office of the Department of Public Works of the State of New York.

ALSO, ALL THAT TRACT OR PARCEL OF LAND, situate in the City of Syracuse County of Onondaga and State of New York, viz: situated in the 15th Ward and being a part of Block No. 49 in said City and a part of and adjacent to said Block 49 and bounded and described as follows: Beginning in the north line of East Water Street in said City at a point 163.25 feet westerly from the southeast corner of said Block thence north 89° 30' 50" west along the northerly line of East Water Street a distance of 86 feet; thence north 0° 21' 0" east a distance of 79.28 feet to the southerly line of Erie Boulevard East; thence southeasterly following a curve to the right having a radius of 1,091.57 feet, an arc distance of 108.44 feet to the division line between lands of Penfield Manufacturing Company and lands of Albert Gordon, et al thence south 0° 21' 0" west and along said division line a distance of 13.52 feet to the northerly line of East Water Street and the place of beginning.

"ONLY COPIES OF THIS MAP SIGNED IN RED INK AND EMBOSSED WITH THE SEAL OF AN OFFICER OF C.T. MALE ASSOCIATES OR A DESIGNATED REPRESENTATIVE SHALL BE CONSIDERED TO BE A VALID TRUE COPY"



"ONLY COPIES OF THIS MAP SIGNED IN RED INK AND EMBOSSED WITH THE SEAL OF AN OFFICER OF C.T. MALE ASSOCIATES OR A DESIGNATED REPRESENTATIVE SHALL BE CONSIDERED TO BE A VALID TRUE COPY"

This is to certify that this map or plat and the survey on which it is based were made in accordance with the "Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys," jointly established and adopted by ALTA and NSPS in 2016 and includes Item 2, 3, 4, 5, 7(a), 7(b)(1), 8, 9, 11, 13, 14, 16, 17, 18, 19, & 20 in Table A thereof. The field work was completed on May 22, 2019.

DATE OF MAP: June 28, 2019

SIGNED: David M. Sliski, P.L.S. Registration No. - NY 50105 - expires 2/28/2021

DATE	REVISIONS RECORD/DESCRIPTION	DRAFTER	CHECK	APPR.



UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW

© 2019 C.T. MALE ASSOCIATES

APPROVED: [Signature]

DRAFTED: JAD

CHECKED: DMS

PROJ. NO: 19-9275

SCALE: 1" = 20 FT.

DATE: JUNE 13, 2019

**ALTA/NSPS LAND TITLE SURVEY**

FOR **SMITH'S RESTAURANT SUPPLY**

500 ERIE BLVD. EAST

PART OF BLOCK NO. 49 & PART OF THE FORMER ERIE CANAL LANDS

CITY OF SYRACUSE ONONDAGA COUNTY, NEW YORK

**C.T. MALE ASSOCIATES**

Engineering, Surveying, Architecture, Landscape Architecture & Geology, D.P.C.

50 CENTURY HILL DRIVE, LATHAM, NY 518.786.7400

COBLESKILL, NY - GLENS FALLS, NY - POUQUICKESPIE, NY - JOHNSTOWN, NY

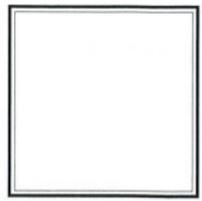
LITTLE FALLS, NY - RED HOOK, NY - SYRACUSE, NY

SHEET 1 OF 1

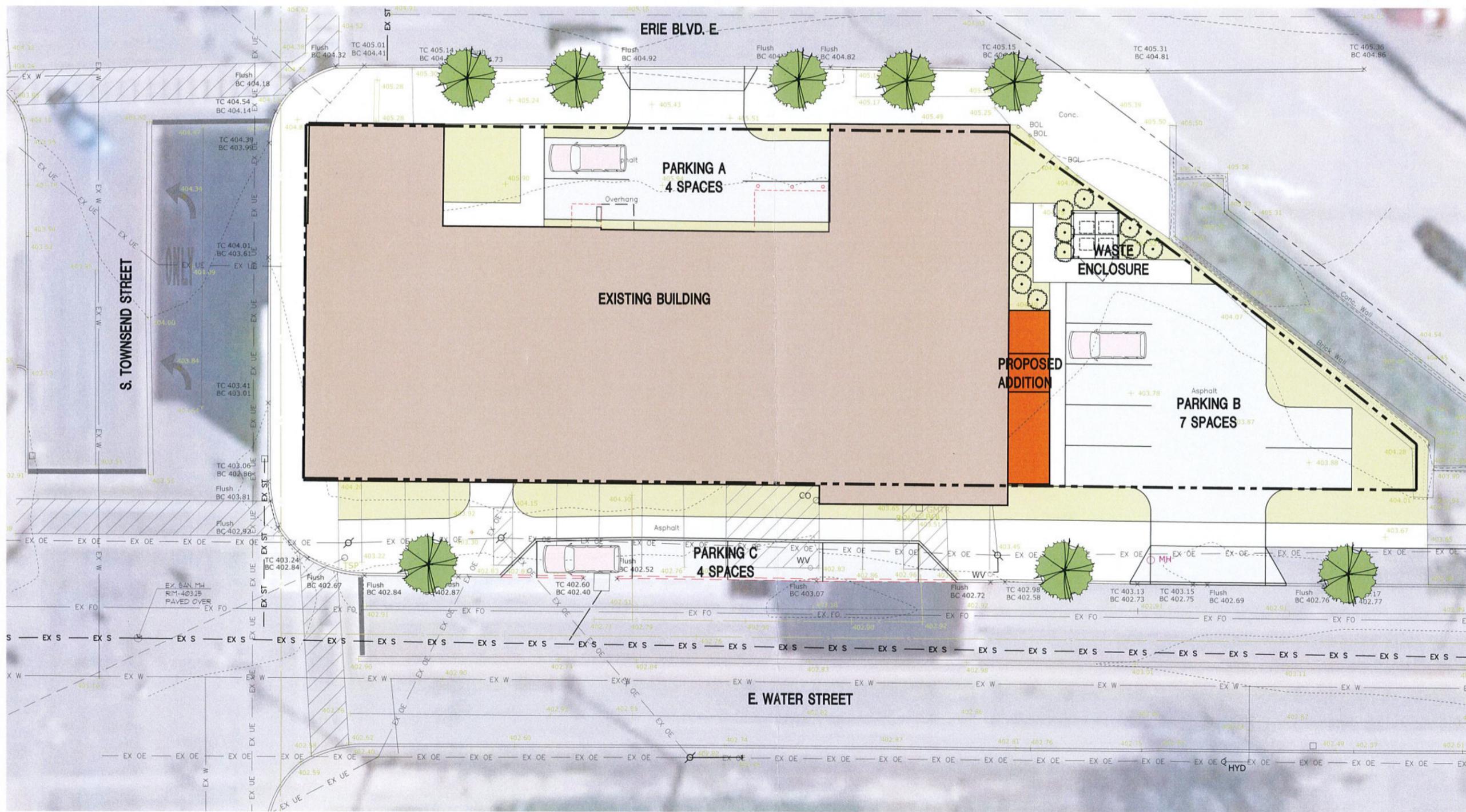
DWG. NO: 19-0400

CAD DWG. FILE NAME: \\sy-fplata\Projects\199275\Survey\ALTA.dwg

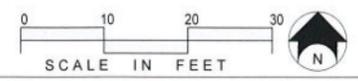
CAD DWG. FILE NAME: ALTA.dwg



Client:



1 CONCEPT SITE PLAN  
L-010



**SMITH BUILDING**  
500 E. ERIE BLVD., CITY OF SYRACUSE, NY

REVISIONS

Drawn By: V.E.R.  
Checked By: S.L.F.  
KFA Proj. No.: 39075  
Date: SEPT. 06, 2019  
Scale: AS NOTED

CONCEPT PLAN

**L-010**



**ARCHITECTURE**



ARCHITECTURE

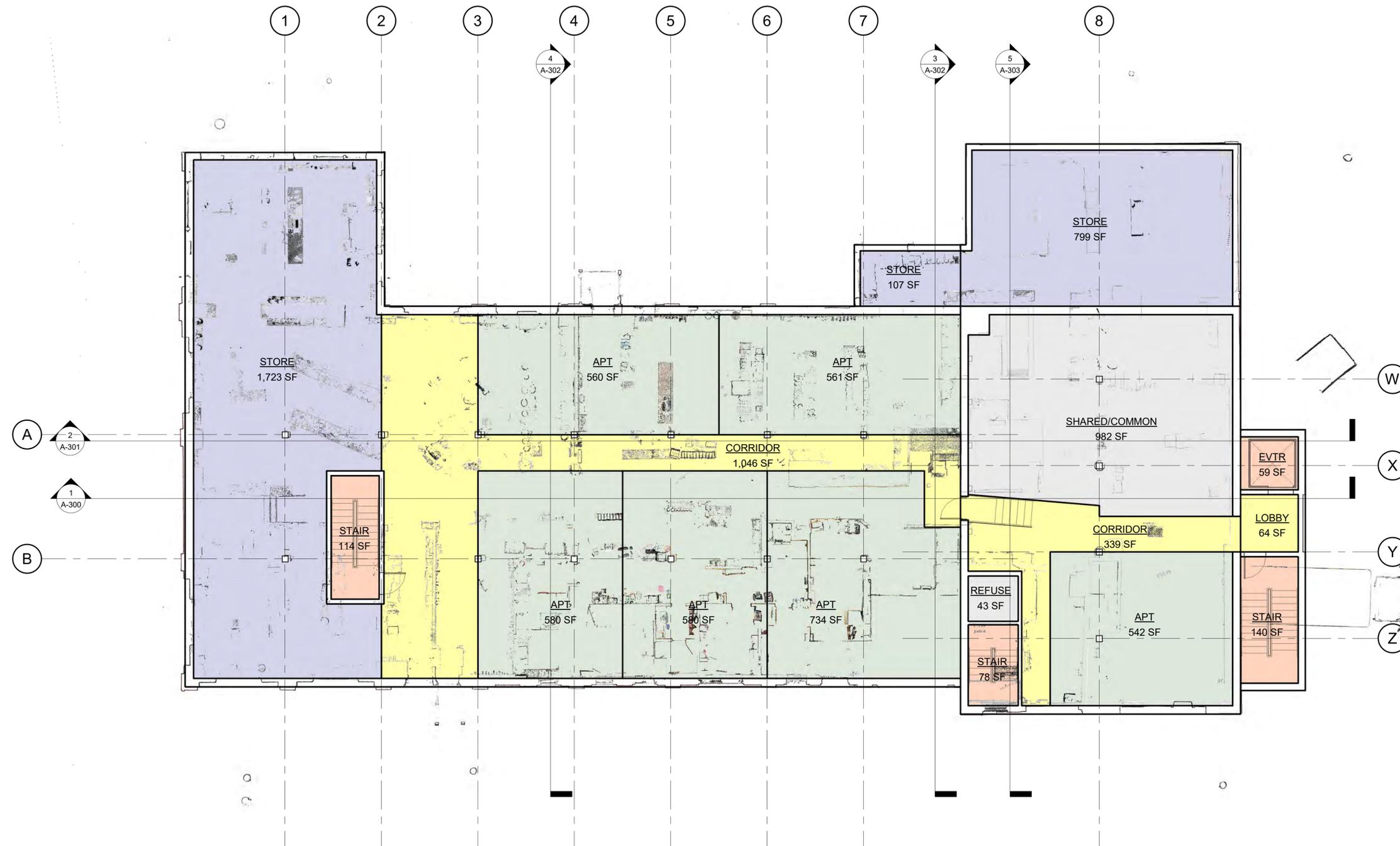
ONE WEBSTERS LANDING  
SYRACUSE, NEW YORK 13202  
315.471.5338



Project Name

Owner

Enter address here



AREA PLAN - FLOOR 01  
1/8" = 1'-0"

PRELIMINARY

MK	DATE	DESCRIPTION
B	07.12.19	PRELIMINARY
A	05.28.19	PRELIMINARY

SHEET ISSUES	
VIP PROJECT NO.	XX-0000
FILE NAME	0000_Model_ARCH.rvt
DRAWN BY	Author
CHECKED BY	ABC

© 2017 - VIP ARCHITECTURAL ASSOCIATES, PLLC  
ALL RIGHTS RESERVED.  
This document and the design solutions contained herein represent proprietary information of VIP Architectural Associates, PLLC and may not be reproduced nor disclosed in whole or in part by any party receiving this document without prior written consent.

GENERAL & CODE SHEET TITLE

AREA PLAN  
FLOOR 01

SHEET NUMBER

G-101



**ARCHITECTURE**

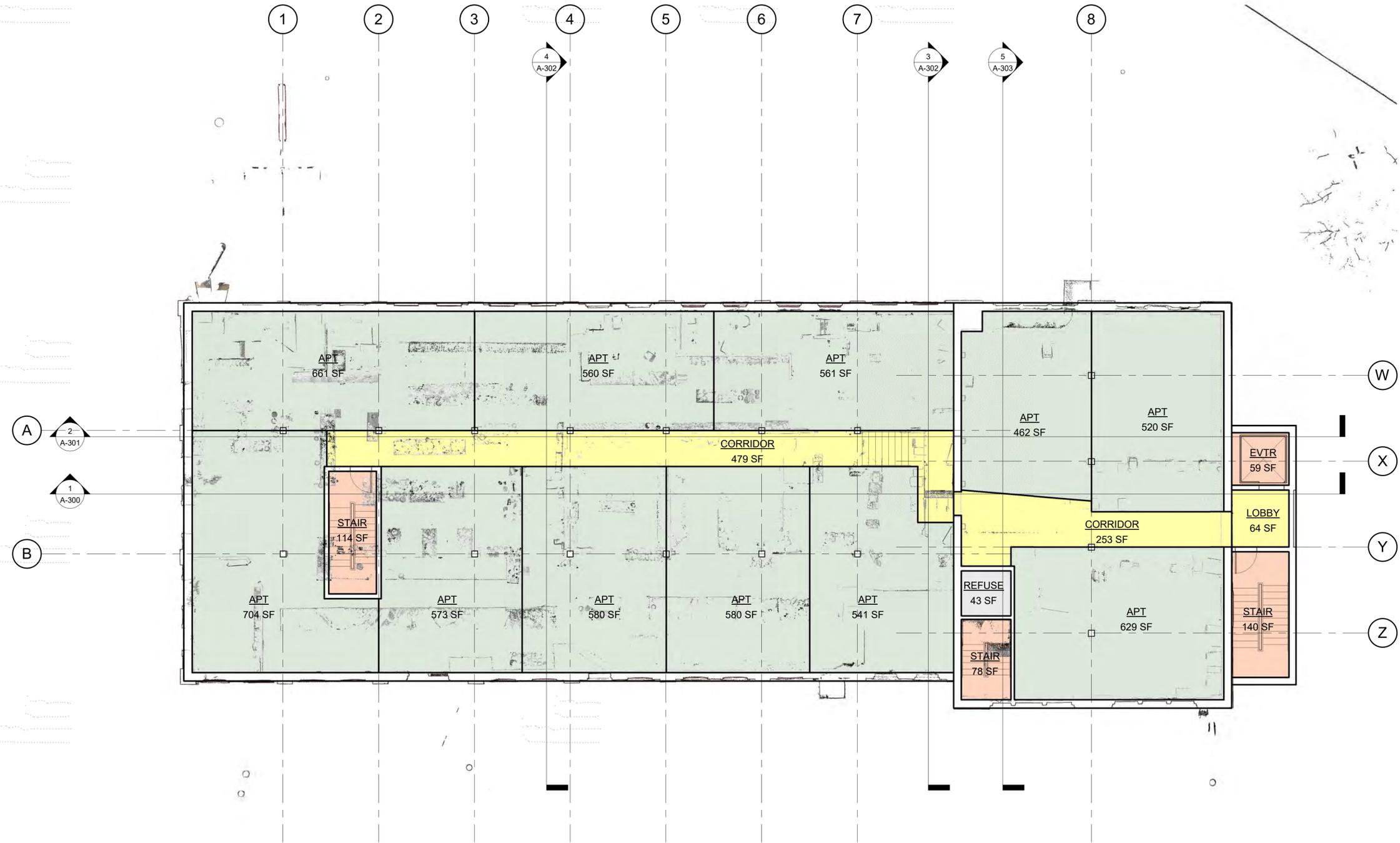
ONE WEBSTERS LANDING  
SYRACUSE, NEW YORK 13202  
315.471.5338



**Project Name**

Owner

Enter address here



**AREA PLAN - FLOOR 02**  
1/8" = 1'-0"

**PRELIMINARY**

MARK	DATE	DESCRIPTION
A	05.28.19	PRELIMINARY
MK		

**SHEET ISSUES**

VIP PROJECT NO.	XX-0000
FILE NAME	0000_Model_ARCH.rvt
DRAWN BY	Author
CHECKED BY	ABC

© 2017 - VIP ARCHITECTURAL ASSOCIATES, PLLC  
ALL RIGHTS RESERVED

This document and the design solutions contained herein represent proprietary information of VIP Architectural Associates, PLLC and may not be reproduced nor disclosed in whole or in part by any party receiving this document without prior written consent.

**GENERAL & CODE SHEET TITLE**

**AREA PLAN  
FLOOR 02**

**SHEET NUMBER**

**G-102**

5/28/2019 6:23:05 PM



ARCHITECTURE

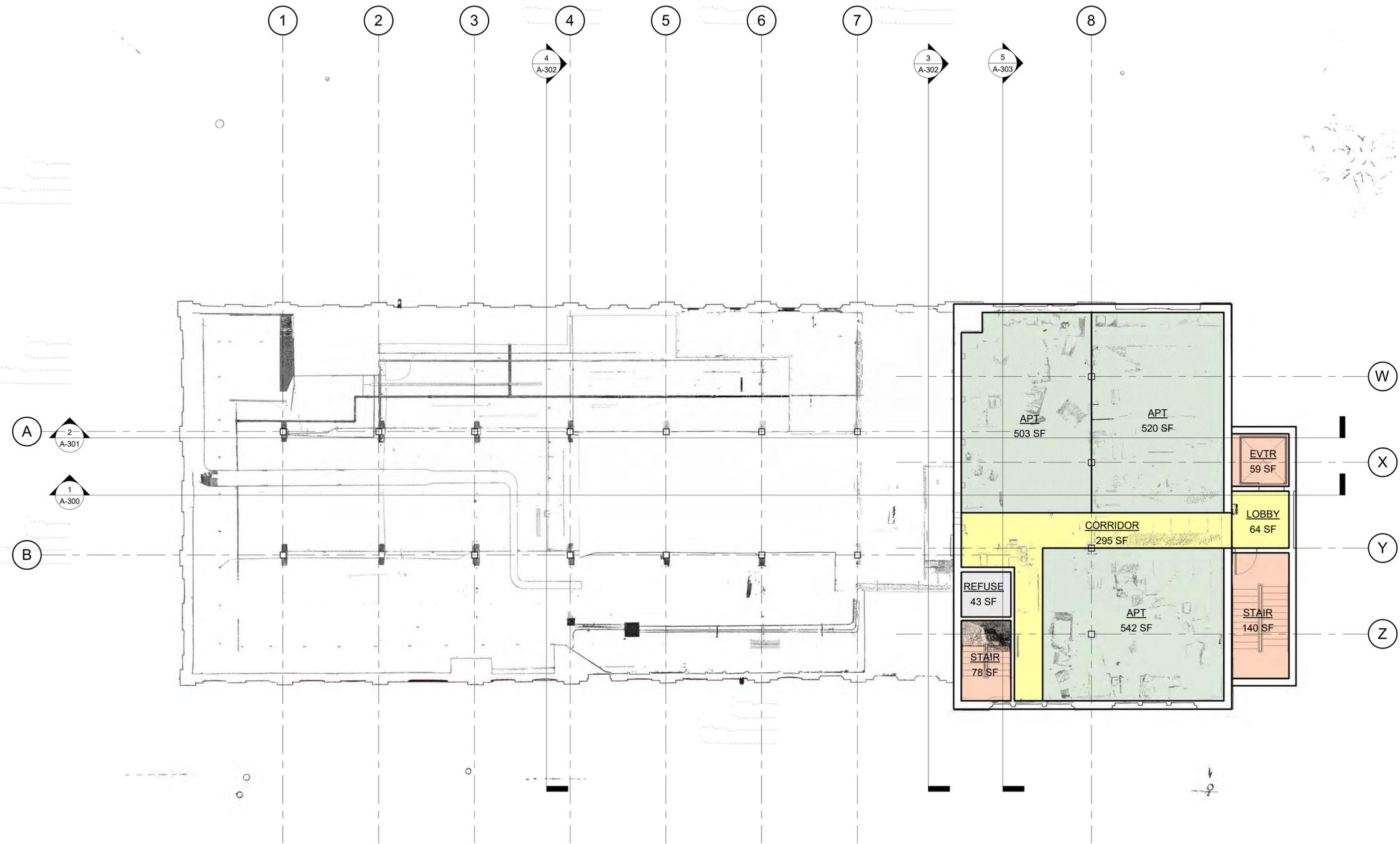
ONE WEBSTERS LANDING  
SYRACUSE, NEW YORK 13202  
315.471.5338



Project Name

Owner

Enter address here



AREA PLAN - FLOOR 03

1/8" = 1'-0"

**PRELIMINARY**

MARK	DATE	DESCRIPTION
A	05.28.19	PRELIMINARY
MK		

**SHEET ISSUES**

VIP PROJECT NO. XX-0000  
 FILE NAME 0000\_Model\_ARCH.rvt  
 DRAWN BY Author  
 CHECKED BY ABC

© 2017 - VIP ARCHITECTURAL ASSOCIATES, PLLC  
ALL RIGHTS RESERVED

This document and the design solutions contained herein represent proprietary information of VIP Architectural Associates, PLLC and may not be reproduced nor disclosed in whole or in part by any party receiving this document without prior written consent.

GENERAL & CODE SHEET TITLE

AREA PLAN  
FLOOR 03

SHEET NUMBER

**G-103**

5/28/2019 6:28:21 PM



ARCHITECTURE

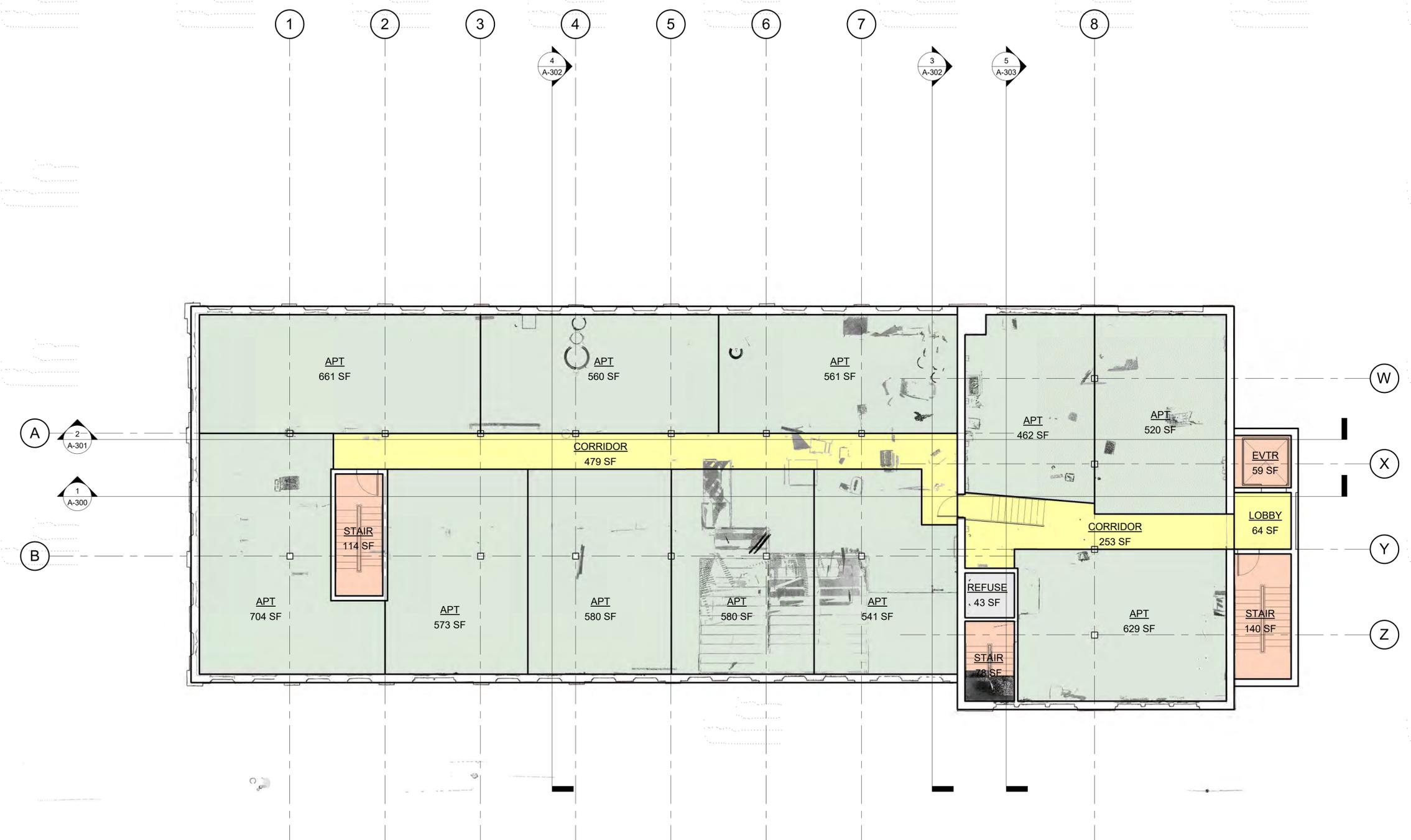
ONE WEBSTERS LANDING  
SYRACUSE, NEW YORK 13202  
315.471.5338



Project Name

Owner

Enter address here



AREA PLAN - FLOOR 04  
1/8" = 1'-0"

**PRELIMINARY**

NO.	DATE	DESCRIPTION
A	05.28.19	PRELIMINARY
MK		

**SHEET ISSUES**

VIP PROJECT NO. XX-0000  
 FILE NAME 0000\_Model\_ARCH.rvt  
 DRAWN BY Author  
 CHECKED BY ABC

© 2017 - VIP ARCHITECTURAL ASSOCIATES, PLLC  
 ALL RIGHTS RESERVED  
 This document and the design solutions contained herein represent proprietary information of VIP Architectural Associates, PLLC and may not be reproduced nor disclosed in whole or in part by any party receiving this document without prior written consent.

GENERAL & CODE SHEET TITLE

**AREA PLAN FLOOR 04**

SHEET NUMBER  
**G-104**

5/28/2019 8:21:45 PM



ARCHITECTURE

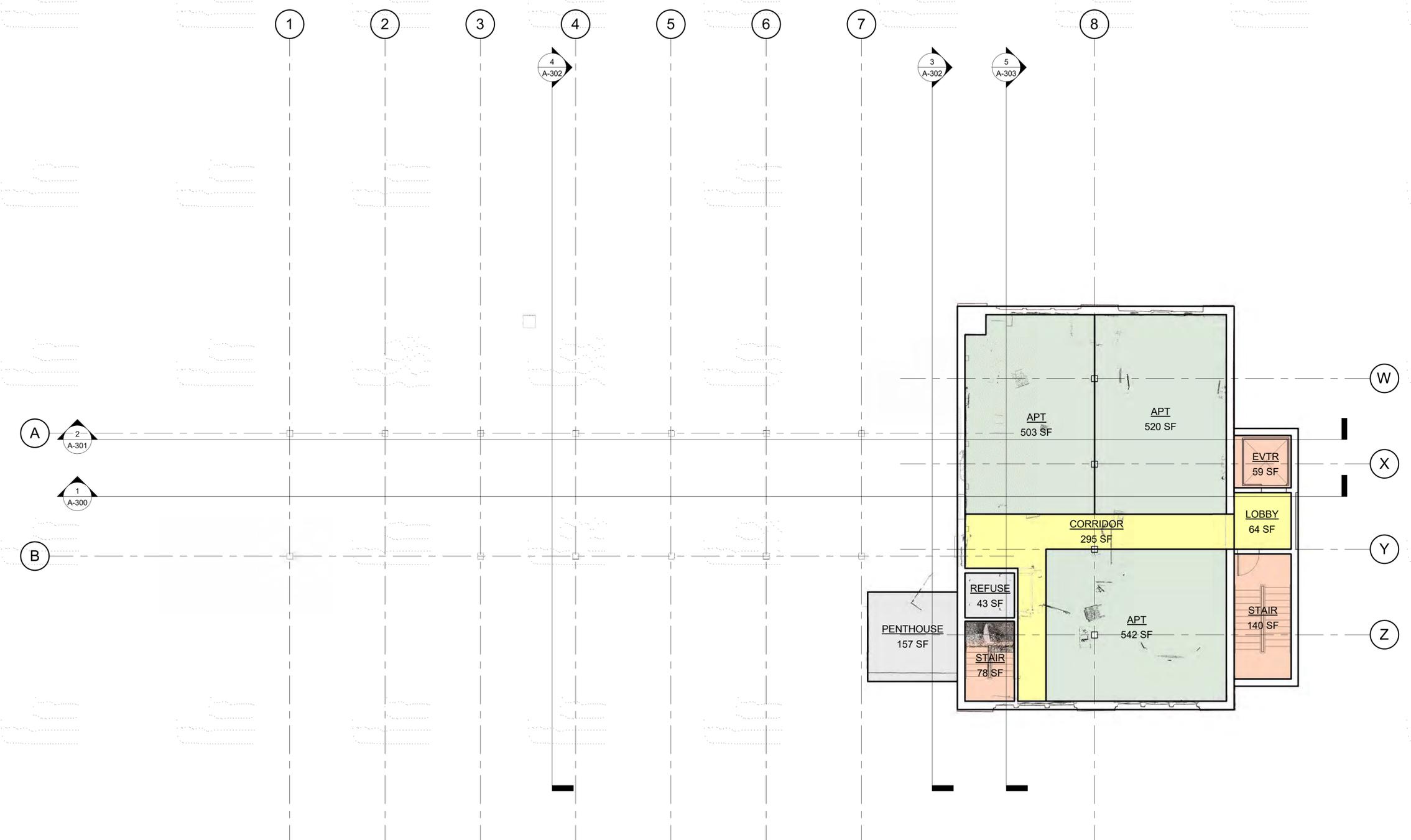
ONE WEBSTERS LANDING  
SYRACUSE, NEW YORK 13202  
315.471.5338



Project Name

Owner

Enter address here



AREA PLAN - FLOOR 05

1/8" = 1'-0"

**PRELIMINARY**

NO.	DATE	DESCRIPTION
A	05.28.19	PRELIMINARY
MK		

SHEET ISSUES	
VIP PROJECT NO.	XX-0000
FILE NAME	0000_Model_ARCH.rvt
DRAWN BY	Author
CHECKED BY	ABC

© 2017 - VIP ARCHITECTURAL ASSOCIATES, PLLC  
ALL RIGHTS RESERVED  
This document and the design solutions contained herein represent proprietary information of VIP Architectural Associates, PLLC and may not be reproduced nor disclosed in whole or in part by any party receiving this document without prior written consent.

GENERAL & CODE SHEET TITLE

AREA PLAN  
FLOOR 05

SHEET NUMBER

**G-105**



ARCHITECTURE

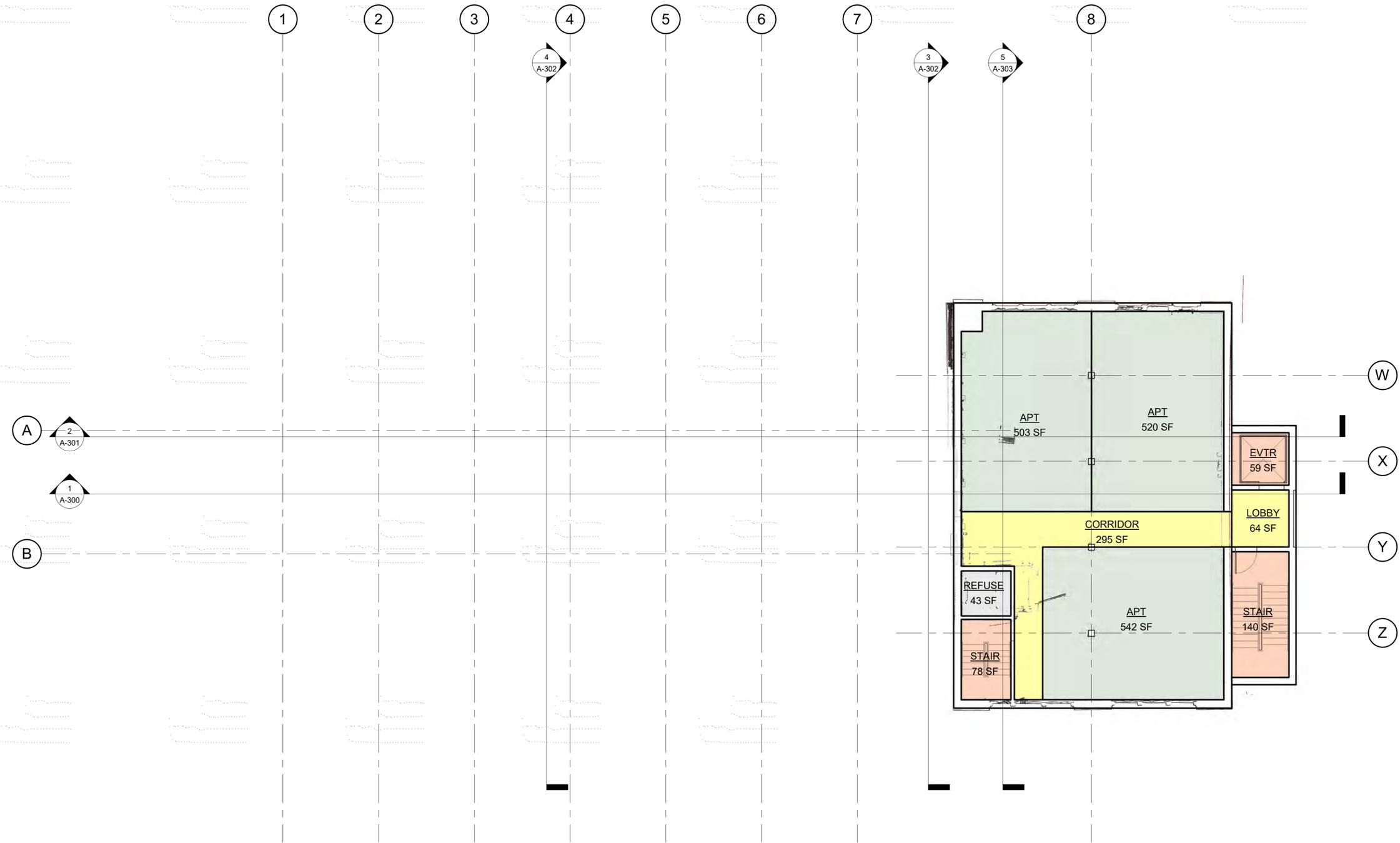
ONE WEBSTERS LANDING  
SYRACUSE, NEW YORK 13202  
315.471.5338



Project Name

Owner

Enter address here



AREA PLAN - FLOOR 06

1/8" = 1'-0"

PRELIMINARY

MARK	DATE	DESCRIPTION
A	05.28.19	PRELIMINARY

**SHEET ISSUES**

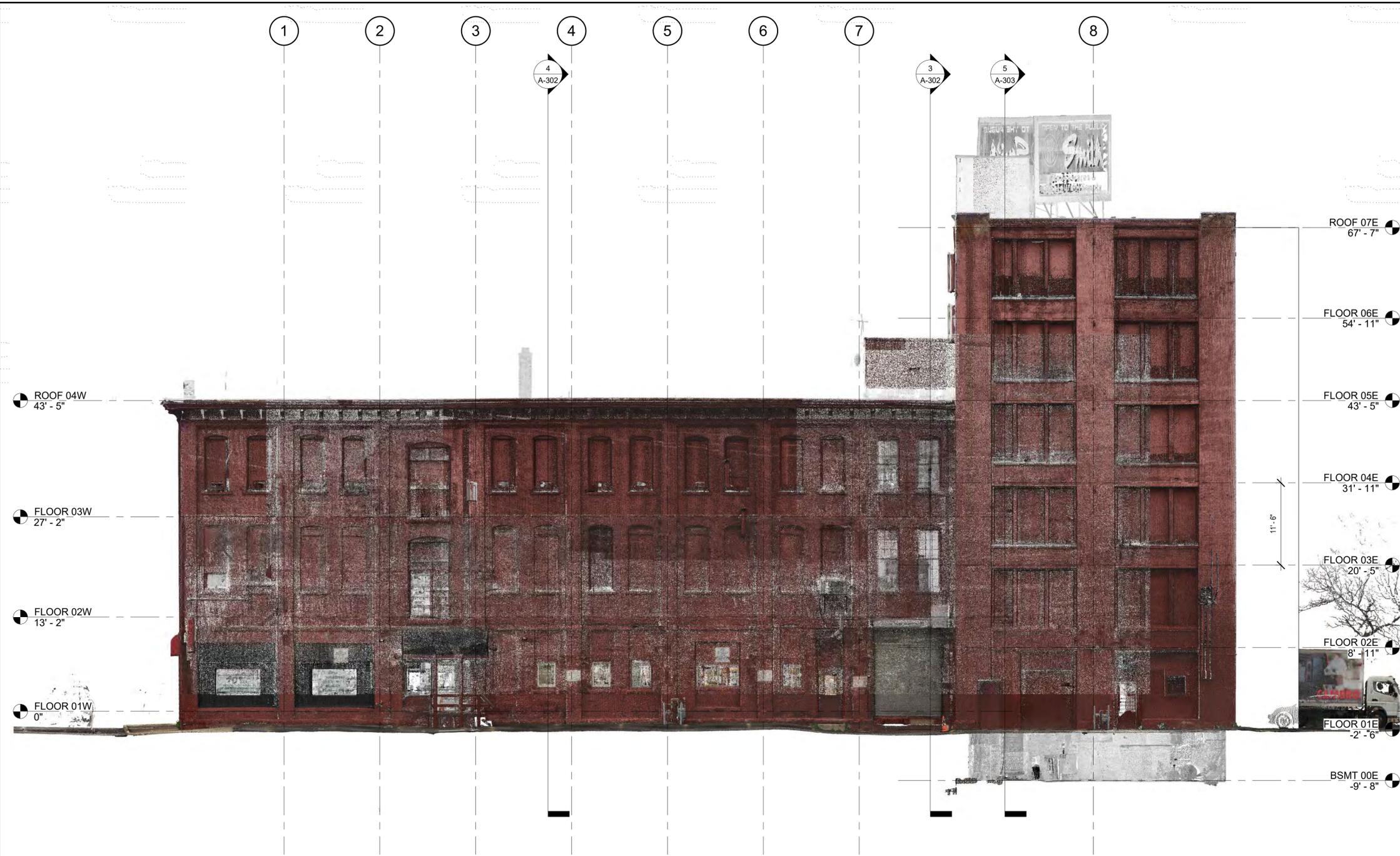
VIP PROJECT NO. XX-0000  
 FILE NAME 0000\_Model\_ARCH.rvt  
 DRAWN BY Author  
 CHECKED BY ABC

GENERAL & CODE SHEET TITLE

AREA PLAN  
FLOOR 06

SHEET NUMBER

G-106



**1 SOUTH ELEVATION**

A-200 1/8" = 1'-0"

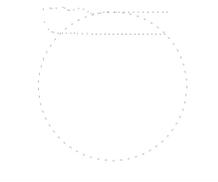
ELEVATION LEGEND: \_\_\_\_\_ GENERAL ELEVATION NOTES: \_\_\_\_\_ ELEVATION KEYNOTES: \_\_\_\_\_

**LK** LEGEND & KEYNOTES  
A-200 NO SCALE



**ARCHITECTURE**

ONE WEBSTERS LANDING  
SYRACUSE, NEW YORK 13202  
315.471.5338



**Project Name**

**Owner**

**Enter address here**

**PRELIMINARY**

NO.	DATE	DESCRIPTION
A	05.28.19	PRELIMINARY
MK		

**SHEET ISSUES**

VIP PROJECT NO.	XX-0000
FILE NAME	0000_Model_ARCH.rvt
DRAWN BY	Author
CHECKED BY	ABC

© 2017 - VIP ARCHITECTURAL ASSOCIATES, PLLC ALL RIGHTS RESERVED

This document and the design solutions contained herein represent proprietary information of VIP Architectural Associates, PLLC and may not be reproduced nor disclosed in whole or in part by any party receiving this document without prior written consent.

ARCHITECTURE SHEET TITLE  
**EXTERIOR ELEVATIONS SOUTH**

SHEET NUMBER  
**A-200**

5/28/2019 8:44:33 AM



ARCHITECTURE

ONE WEBSTERS LANDING  
SYRACUSE, NEW YORK 13202  
315.471.5338



Project Name

Owner



Enter address here



**PRELIMINARY**

VP	PROJECT NO.	DATE	DESCRIPTION
A	05.28.19		PRELIMINARY
MK			

**SHEET ISSUES**

VIP PROJECT NO.	XX-0000
FILE NAME	0000_Model_ARCH.rvt
DRAWN BY	Author
CHECKED BY	ABC

© 2017 - VIP ARCHITECTURAL ASSOCIATES, PLLC  
ALL RIGHTS RESERVED  
This document and the design solutions contained herein represent proprietary information of VIP Architectural Associates, PLLC and may not be reproduced nor disclosed in whole or in part by any party receiving this document without prior written consent.

ARCHITECTURE SHEET TITLE  
**EXTERIOR ELEVATIONS WEST & EAST**  
SHEET NUMBER  
**A-201**

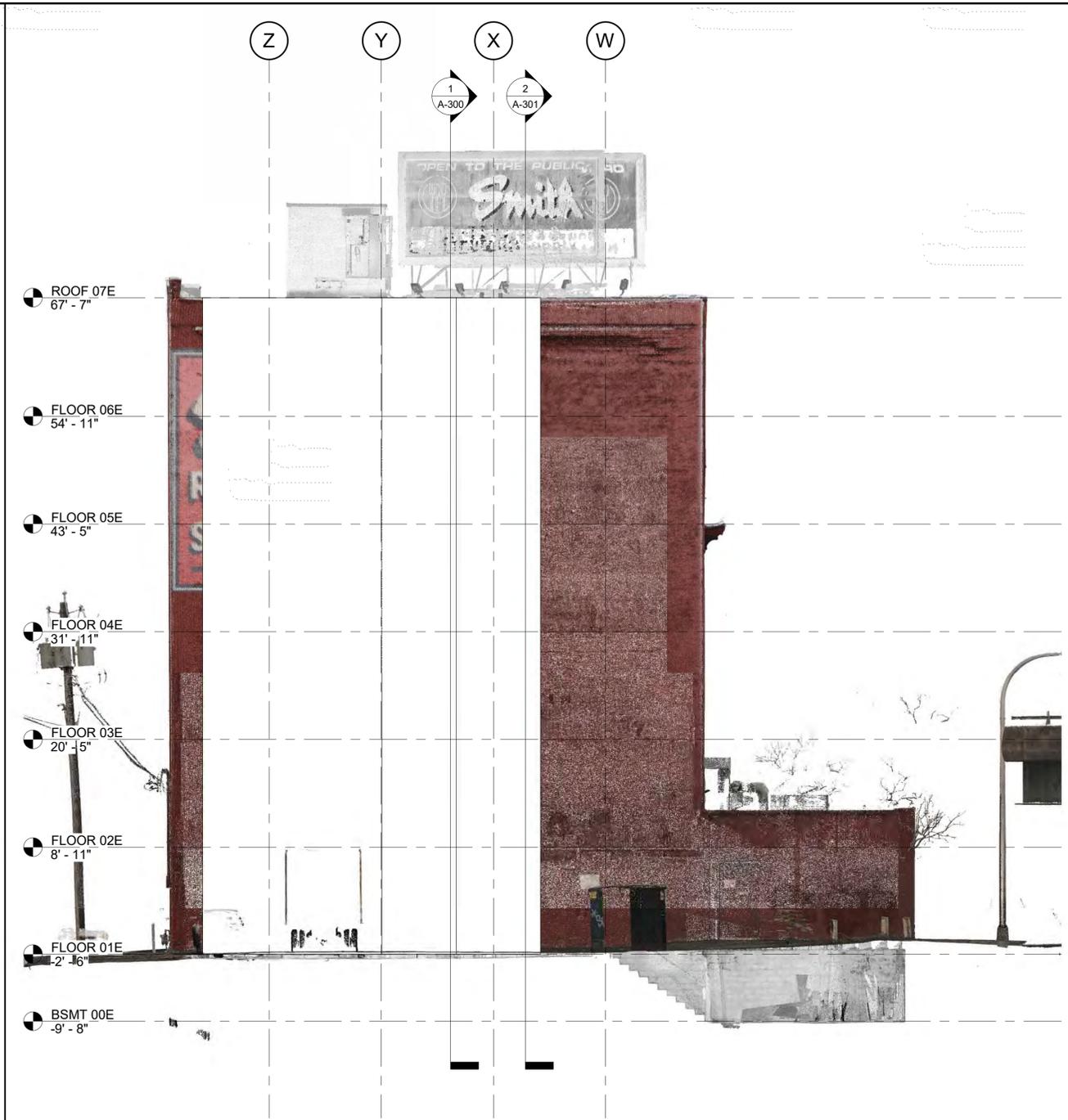


**1** WEST ELEVATION

A-201 1/8" = 1'-0"

ELEVATION LEGEND: \_\_\_\_\_ GENERAL ELEVATION NOTES: \_\_\_\_\_ ELEVATION KEYNOTES: \_\_\_\_\_

**LK** LEGEND & KEYNOTES  
A-202 NO SCALE



**2** EAST ELEVATION

A-201 1/8" = 1'-0"

5/28/2019 8:35:08 AM



ARCHITECTURE

ONE WEBSTERS LANDING  
SYRACUSE, NEW YORK 13202  
315.471.5338



Project Name

Owner



Enter address here



**PRELIMINARY**

NO.	DATE	DESCRIPTION
A	05.28.19	PRELIMINARY
MK		

**SHEET ISSUES**

VIP PROJECT NO.	XX-0000
FILE NAME	0000_Model_ARCH.rvt
DRAWN BY	Author
CHECKED BY	ABC

© 2017 - VIP ARCHITECTURAL ASSOCIATES, PLLC  
ALL RIGHTS RESERVED  
This document and the design solutions contained herein represent proprietary information of VIP Architectural Associates, PLLC and may not be reproduced nor disclosed in whole or in part by any party receiving this document without prior written consent.

ARCHITECTURE SHEET TITLE

EXTERIOR ELEVATIONS NORTH

SHEET NUMBER

A-202

5/28/2019 8:47:08 AM



1 NORTH ELEVATION

A-202 1/8" = 1'-0"

ELEVATION LEGEND: \_\_\_\_\_ GENERAL ELEVATION NOTES: \_\_\_\_\_ ELEVATION KEYNOTES: \_\_\_\_\_

LK LEGEND & KEYNOTES

A-201 NO SCALE