

PLEASE TYPE OR PRINT (LEGIBLY)

For Office Use Only:	Application Number: V- <u>19-25</u>
Tax map Section: <u>019</u> Block: <u>21</u> Lot: <u>05.0</u>	Zoning District: <u>RA-1</u>

1. Address of subject property: 807 Winton Street

2. Year property was purchased by current owner: 2019

3. Applicant/contact information:

a. Owner(s) (current titleholder):

Name(s): James C. Lloyd

Mailing Address: P.O. Box 325 North Syracuse

Zip: 13212 Daytime phone number: 315-350-1327 home phone number: 350-1327

E-mail (alternate contact for additional information request): JCLLOYD44@yahoo.com

b. Contract purchaser(s) , Lessee , or Co-applicant  (if applicable)

**\*note: Copy of contract to purchase must be included with application if this contract purchaser or lessee applies.**

Name(s): \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Zip: \_\_\_\_\_ Home phone number: \_\_\_\_\_ Day Phone: \_\_\_\_\_

E-mail (alternate contact for additional information request): \_\_\_\_\_

c. Representative: Attorney , Architect , Contractor , Other

**(Only if involved in this application)**

Name(s): \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Zip: \_\_\_\_\_ Telephone number: \_\_\_\_\_

4. Current use of property: (i.e., 1 family, 2 family, grocery store, etc.): Garage

Proposed use and occupancy of property: Single Family

Current number of onsite (off-street) parking spaces: 2

Proposed number of onsite (off-street) parking spaces: \_\_\_\_\_

Days and hours of operation (for any business uses):

Explain in detail what (if any) new additions or construction is proposed on the site:

Second floor to be installed upon existing Garage on site.

**Reason for request:**

The courts have distinguished between use variances (for uses which are not permitted) and area variance (for excess lot coverage, additions into required yards, etc.). Be aware that *the standards of proof for a use variance are much more demanding* than for an area variance and that *the burden is on the applicant* to provide such proof in arguing their case. (See Standard of Proof requirements on required submittal page.)

Use additional sheets of paper to present proof if necessary.

See attached

The following affirmation must be signed and dated by the CURRENT PROPERTY OWNER or the owner's LEGAL representative (attorney, power of attorney, partner in the business, etc.).

**DECLARATION**

I understand that false statements made herein are **punishable as a Class A Misdemeanor, pursuant to section 210.45 of the Penal Law of the State of New York**. I declare that, subject to the penalties of perjury, any statements made on this application and any attachments are the truth and to the best of my knowledge correct.

I also understand that any false statements and/or attachments presented knowingly in connection with this application **will make consideration of this application null and void**.

**CURRENT PROPERTY OWNER SIGNATURE**

As listed on the City of Syracuse Tax Assessment Roll. If not listed as the owner on the current rolls, please include a proof of ownership, for example, a copy of the deed. Attorney's signing on behalf of the owner must include a one page letter describing the legal representative arrangement. Architects, engineers, contractors, tenants, etc. cannot sign on behalf of the property owner. If property owner is a Corporation or an Organization, then the person signing must provide verification they are a member of such, and can sign on the owners' behalf.

James C. Lloyd

October 18, 2019

CURRENT PROPERTY OWNER SIGNATURE

DATE

James C. Lloyd Owner

Please legibly PRINT SIGNATURE NAME and TITLE

SYRACUSE BOARD OF ZONING APPEALS  
CITY HALL COMMONS, ROOM 101  
201 EAST WASHINGTON STREET  
SYRACUSE, NY 13202  
(315) 448-8640

**Board of Zoning Appeals application Procedures**

Variance applications involve public hearings with the Board of Zoning Appeals. A variance application will not be considered complete on the applicant's part until all required submittals have been received and have been through a preliminary review by Zoning Office staff (and possibly other departments), including an evaluation of the application under the New York State Environmental Quality Review Act (SEQR).

Once an application has been determined to be ready for a public hearing with the Board of Zoning Appeals, it will be scheduled for the **next available** hearing date (allowing the necessary time from for the Board's authorization, newspaper publication, mailing schedules, etc.). A "Public Notice" regarding the hearing date will then be mailed to the applicant (and representative, if any), approximately ten (10) days prior to the hearing date.

The public notice is also published in the Syracuse Post Standard newspaper ten (10) days prior to the hearing date. Public notices are also sent to property owners contiguous to any property subject to a public hearing, and to other city departments and neighborhood organizations.

The application, and its contents, will then be open for inspection at the Syracuse Office of Zoning Administration during regular office hours.

Unless otherwise notified, all meetings at which public hearings are to be held will begin at 1:00 p.m. in the Common Council Chambers on the third floor of City Hall.

The applicant or his or her representative **must attend** the public hearing to explain the case request to the Board of Zoning Appeals. (The rules of the Board of Zoning Appeals **do not permit postponements** due to the absences of applicants or their representatives.) A variance decision is not final until a written resolution is adopted by the Board of Zoning Appeals and filed with the secretary to the Board. Depending upon the situation, the resolution may possibly not be adopted until a later meeting. A copy of the resolution will be mailed to the applicant.

Depending upon the type and complexity of the application, additional necessary reviews, and the hearing schedule, the entire variance application process from the submission of the application to the release of the resolution may take approximately two months.

***Please sign that you have read and understand the above information and return this page with the application.***

Signed: James C. Dyk Date: October 18, 2019

This application may be mailed or delivered in person to the Syracuse Office of Zoning Administration, located in Room 101 at City Hall Commons, 201 East Washington Street, Syracuse, NY 13202-1426. If you wish to discuss the application with a member of our staff, please call ahead for an appointment (448-8640).

DENIAL OF PERMIT

REFERENCE ADDRESS 807 Winton Street

WARD NO. \_\_\_\_\_

OWNER James Lloyd

OWNER'S ADDRESS PO Box 325 N. Syracuse

TELEPHONE \_\_\_\_\_

APPLICATION FOR PERMIT TO:

erect (X)      convert ( )      maintain ( )      operate ( )

NEED AREA VARIANCE FOR 1 FAM HOUSE

DENIED UNDER ARTICLE (s) \_\_\_\_\_

of the zoning ordinance for the following reasons: \_\_\_\_\_

PLANS ATTACHED, APPROVED BY \_\_\_\_\_  
ON \_\_\_\_\_

SURVEY ATTACHED

ZONING REVIEWED BY \_\_\_\_\_

LOCATION OF REFERENCE ADDRESS:  
ASSESSOR'S ATLAS

BOOK (S) NO. \_\_\_\_\_

PLATE (S) NO. \_\_\_\_\_

PARCEL (S) NO. \_\_\_\_\_

DATE 10/15/19 SIGNATURE \_\_\_\_\_

*[Handwritten Signature]*

Jim Lloyd  
P.O. Box 325  
North Syracuse, New York 13212

October 18, 2019

Syracuse, Board of Zoning Appeals  
Reference: 807 Winton Street  
Syracuse, New York

STANDARDS OF PROFF:

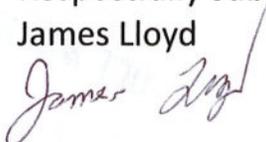
I am applying for an area variance for a rear yard set back to a current Structure located at 807 Winton Street. The current use is a two-car garage, Which I would like to remove the roof, add a second floor, and install the roof Again. There will be no change to the foot print, just the addition of the second floor. The architect has addressed side and rear issues for fire retardant materials, Egress windows and current building codes.

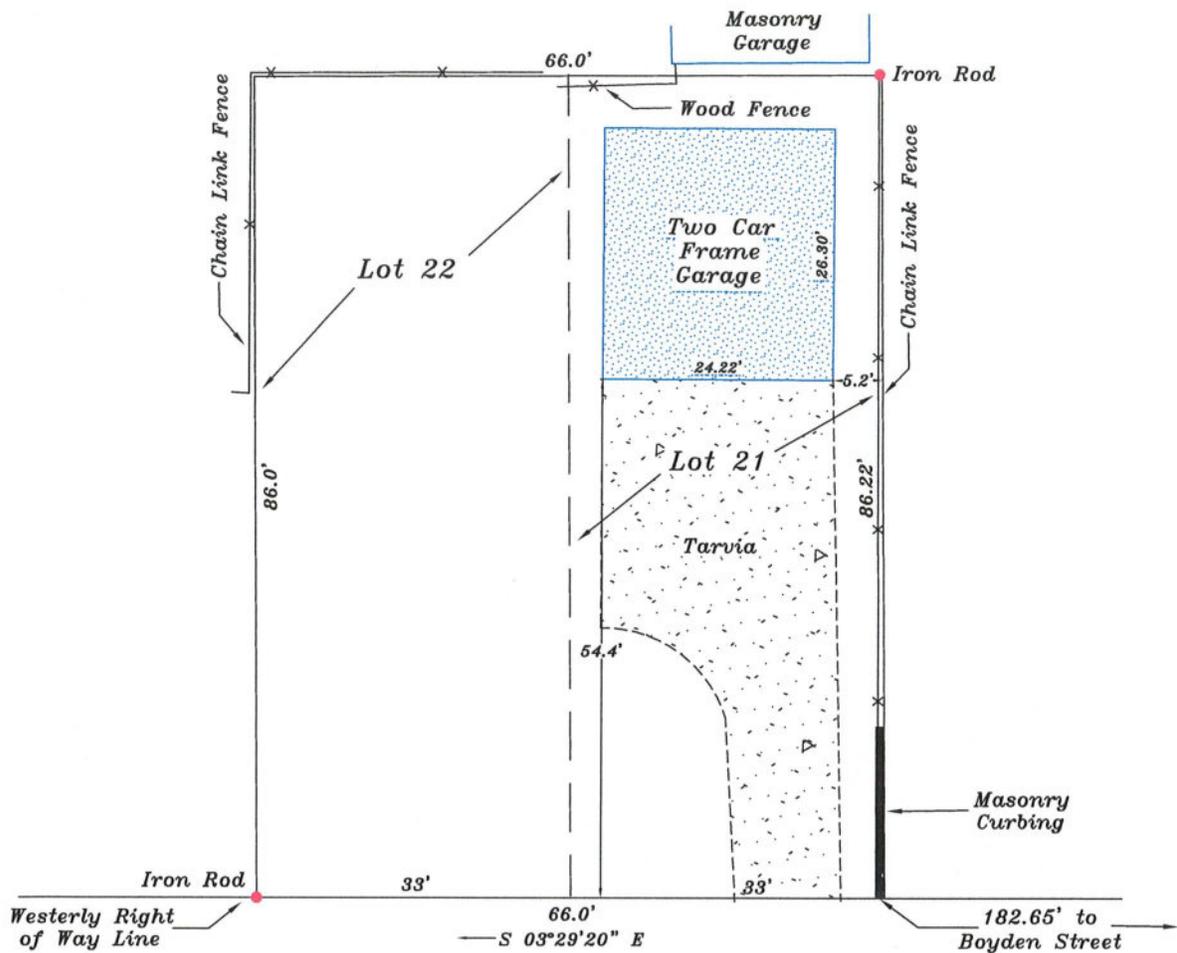
The last owner of the total property had a single-family house on the site, legally Applied for the current garage, and either by fire or demolition removed the house. So currently the garage in question is an illegal structure.

My ability to build a single-family house on this structure represents the most economical way to achieve the single-family home.

- A) This is the only way to feasibly achieve, a legal structure, at the most Cost effective solution, with no impact to the physical or environmental Conditions in the neighborhood.
- B) As stated earlier, the construction phase would take three- four days Outside, we will operate on an 8:00- 3:30 time frame, small construction Team, and inside finishing, three to four weeks.
- C) In closing I refer back to the current building (garage), it was built, and Permitted at the time of construction, with correct set-backs with regards To front, rear and side locations. I only request to use this current building And apply for the rear variance to meet a single-family dwelling in the city Of Syracuse.

Respectfully Submitted,  
James Lloyd





# Winton Street

**Michael J. McCully**  
Land Surveying PLLC

5875 Fieldstone Drive  
Cazenovia New York 13035  
Phone : (315) 440-5096

I hereby certify that this map was made from an actual survey and same is correct.

M.J. McCully

NYSLLS 50696



Location Survey on Lots 21 and 22, Block 562 of Ackerman Farm, Amended.

Known as No. 807 Winton Street, City of Syracuse, County of Onondaga, State of New York.

Drawn by: MJM

Scale: 1" = 20'

Date(s): 09-24-19

Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law. Only copies from the original of this survey marked with an original of the land surveyor's inked seal or his embossed seal shall be considered to be valid true copies. Certifications shall run only to the person or entities for whom the survey is prepared and are not transferable to subsequent persons or entities. Copyright 2019, Michael J. McCully Land Surveying, all rights reserved.

# SITE PLAN

## ZONING DATUM:

**ZONING:** RA-1 RESIDENTIAL DISTRICT

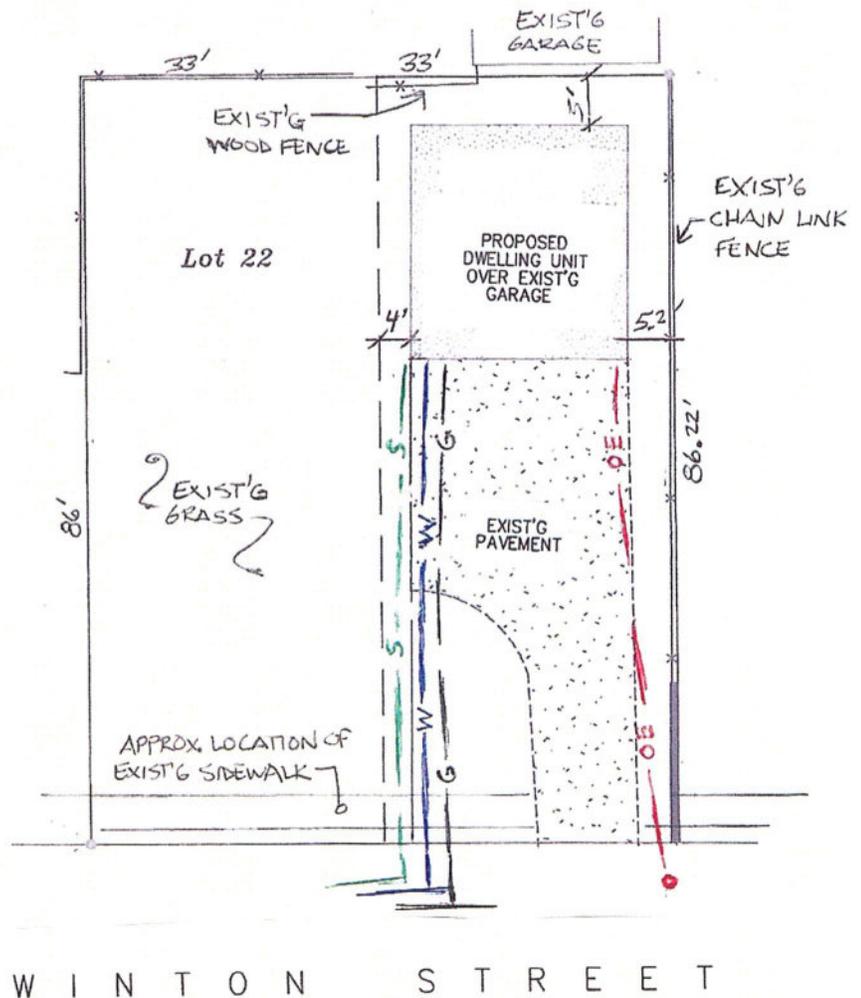
**BUILDING USE:** RESIDENTIAL

**SITE AREA:** .065 ACRES (2,845 S.F.)

	REQUIRED	EXISTING
AREA- MAXIMUM COVERAGE:	30%	24%
FRONT YARD (MIN) SETBACK:	10.5'	53'
SIDE YARD (MIN) SETBACK:	4'	4'/5.2'
REAR YARD (MIN) SETBACK:	20'	5'

A VARIANCE IS REQUIRED FOR REAR YARD SETBACK.

NORTH 



- RED = OVERHEAD ELECTRIC (EXIST'G 200 AMPS)
- BLACK = GAS (1")
- BLUE = WATER (3/4")
- GREEN = SANITARY SEWER

SCALE:  
1" = 20'

DRAWN BY:  
JACOB A COOPER  
315-729-3498  
10-15-19

2nd Floor Addition to:  
807 Winton Street  
Syracuse, NY 13203

**Drawing List:**

- CS-1 COVER SHEET
- A-1 ELEVATIONS & PLANS
- A-2 SECTION

**GENERAL CONSTRUCTION NOTES**

These drawings are the property of The Architect and shall not be reproduced without their permission. They shall not be used by anyone on other projects or on extensions of this project without written agreement by and appropriate compensation to the Architect

All work shall meet all applicable codes, ordinances and regulations. Obtain all required permits, licenses and approvals prior to commencement of construction.

Unless otherwise noted, wood construction shall meet construction standards and material specifications as set forth by the American Plywood Association for Residential and Commercial construction.

Footings shall bear on undisturbed soil of adequate strength. Contractor shall request inspection of subgrade prior to installation of footing.

Presumptive soil bearing is 1,500 psf. Notify Architect if different soil condition is encountered, or if soil is weak, unstable or otherwise unsuitable. Bottom of footing shall be 4'-0" below finished grade, min.

Finish grade is required to be sloped away from foundation wall a min. of 6" in 10'

All wood in direct contact with concrete or earth shall be pressure treated. All lumber used for decking or deck framing shall be pressure treated.

Smoke detectors are required in each sleeping room nearby outside each sleeping room & one each floor Carbon monoxide detector will be provided outside the sleeping area and on each floor.

Truss bracing and handling as per BWT-76 of the Truss Plate Institute. Trusses, if used, designed for 50 psf ground snow load loading. Provide design certification by truss manufacturer.

Design and specification of Electrical, Plumbing and HVAC systems by others. It is the responsibility of the respective mechanical systems installers to comply with the New York State Energy Code as regards to the performance and installation of the mechanical systems.

It is the responsibility of the contractor to review the drawings and notify the Architect of any discrepancies.

Provide tempered glazing where the bottom edge of glazing is less than 18" above finish floor.

Contractors must be EPA certified Lead RRP renovators to perform alteration work on dwellings, schools and child care facilities built prior to 1978

Provide continuous air barrier at building envelope consistent with Section 404.2 of the Energy Code of NYS

Provide continuous vapor retarder on interior side of building envelope including walls floors and ceilings consistent with the 2015 International Energy Conservation Code.

- Fireblocking shall be installed per sections R602.8, R1001.12 of the 2015 International Residential Code. Fireblocking shall be provided in concealed wall and stair spaces at floor and ceiling. Horiz furred spaces at intervals not exceeding 10'. Concealed joist spaces at beams and bearing walls.

- **Stairs:**  
Provide 34" continuous railing at stairs. Open sides of stairs greater than 30" of height shall have guards 34" min height above nosing.

Porches, balconies and raised floor greater than 30" above floor or grade shall have a half wall or rail guard 36" height R312.

Railing or riser openings shall not permit the passing of a 4" diameter sphere & 6" opening is permitted riser tread & bottom rail.

- Use ACQ compatible fasteners when using pt lumber.

- Verify simpson model numbers prior to pricing and construction.

- Ledgers shall be attached w/ lag bolts, 24" oc, two rows staggered. R507.2

Structural lumber:  
Pine / Spruce / Fir #2 or better  
Fy=1100 psi min. E=1,500,000

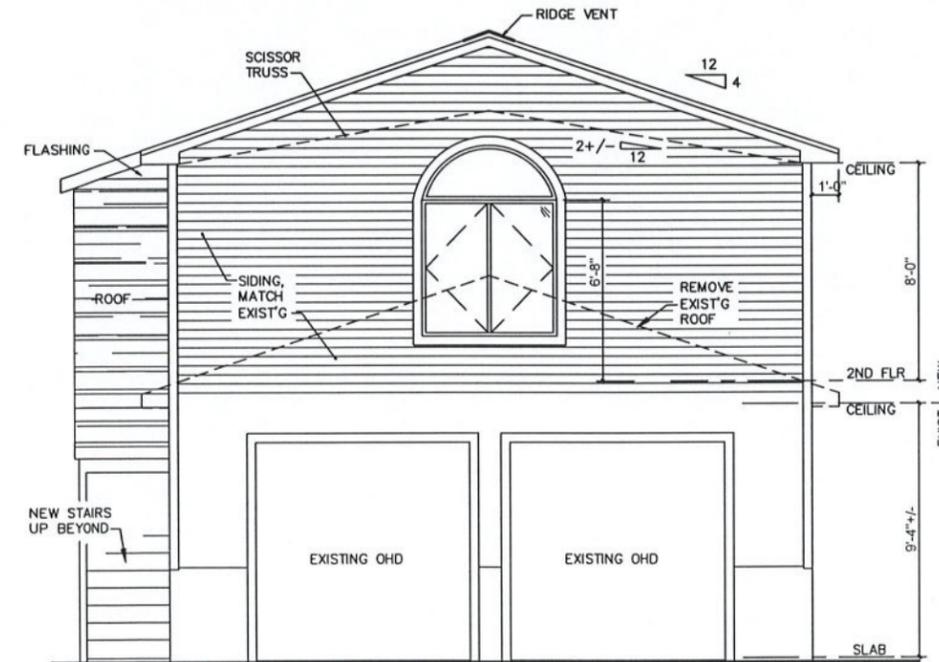
**STRUCTURAL DESIGN LOADS:**

Roof Snow Load: 50 psf  
2nd floor live load: 40 psf  
1st floor live load: 100 psf (existing)

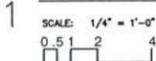
Joists and headers shall be western spf no.2 or better  
SPF =  $F_b = 1,100$  psi,  $F_v = 70$  psi,  $E = 1,400,000$   
LVL =  $F_b = 2,800$  psi,  $F_v = 285$  psi,  $E = 1,900,000$   
Doug Fir =  $F_b = 1,400$  psi,  $F_v = 95$  psi,  $E = 1,400,000$



P1 EXISTING ELEVATION  
SCALE: NTS



NEW FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



**SERVICE CONDITIONS:**

1. These documents represent a package suitable for review of a financial institution, issuance of a building permit by the local regulatory authority, and construction of the project by an experienced, qualified General Contractor but are abbreviated in detail in consideration of cost for the Owner and to maximize the Owner's flexibility.

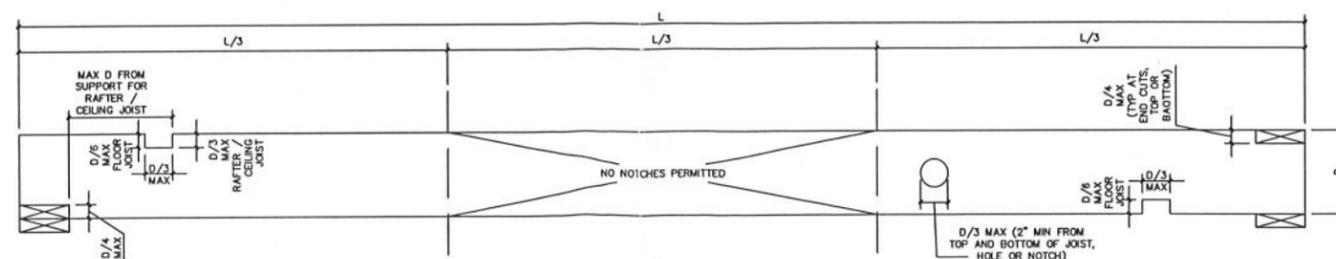
2. Plumbing, heating, ventilation, air conditioning (if applicable), and electrical system design are not part of these documents

These systems shall be designed by qualified design professionals retained by the general contractor or his/her subcontractor(s) for the owner's review and approval.

Design and execution of these trade items shall be in strict compliance with International building, energy conservation construction, plumbing, mechanical, and fuel gas codes, the National Electric Code and all local and municipal codes, statutes, and ordinances (including zoning) having jurisdiction and as most recently revised. The general contractor shall certify that the applicable system as installed meets these criteria as/if required.

3. Unless specifically requested by the owner (as additional services), the architect shall not be responsible for visitation of the site, nor have any control of, nor responsibility for, product substitutions, construction means, methods techniques or procedures employed by the contractor or subcontractors in the execution of their contract(s) or for failure of any of them to complete their work in accordance with these documents, in a workman like manner or in accordance with the applicable codes statutes, ordinances and standards (including national trade standards) having jurisdiction.

**NOTE:**  
THESE DRAWINGS COMPLY WITH SECTION 402.1.2 OF THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE OF NYS (BY COMPONENT)



Addition to:  
807 Winton St Syracuse, NY 13203  
Inhabit Architectural Design PLLC  
4568 Limeledge Rd Marcellus, NY 13108  
315-729-3498 315-362-9538 fax

PERMIT DRAWINGS

date:  
9-5-19  
job no:  
19045  
drawing no:

COVER SHEET

CS-1



