

VARIANCE APPLICATION

SYRACUSE BOARD OF ZONING APPEALS

PLEASE TYPE OR PRINT (LEGIBLY)

For Office Use Only:	Application Number: V- <u>19</u> - <u>10</u>
Tax map Section: _____ Block: _____ Lot: _____	Zoning District: <u>RB</u>

1. Address of subject property: 1219-1221, 1225-1227, 1231, 1237, 1301, 1311, 1317, 1323 East Genesee St.
208, 216, 218, 222, 224 Ashworth Pl

2. Year property was purchased by current owner: 2018

3. Applicant/contact information:

a. Owner(s) (current titleholder):

Name(s): Northside Genesee Associates, LLC

Mailing Address: 3 E. Stow Road, Suite 260

Zip: 08053 Daytime phone number: 704-576-8444 home phone number: _____

E-mail (alternate contact for additional information request): Shillebrand@TheMichaelsorg.com

b. Contract purchaser(s) , Lessee , or Co-applicant (if applicable)

*note: Copy of contract to purchase must be included with application if this contract purchaser or lessee applies.

Name(s): _____

Mailing Address: _____

Zip: _____ Home phone number: _____ Day Phone: _____

E-mail (alternate contact for additional information request): _____

c. Representative: Attorney , Architect , Contractor , Other Engineer (Civil)
 (Only if involved in this application)

Name(s): Passero Associates - Jess D. Sudol, PE VP

Mailing Address: 242 W. Main Street S-100 Rochester, NY

Zip: 14614 Telephone number: 585-325-1000

4. Current use of property: (i.e., 1 family, 2 family, grocery store, etc.): _____
11 Multi-Family Dwellings totaling 56 units.

Proposed use and occupancy of property: Single Multi-Family Dwelling with parking

Current number of onsite (off-street) parking spaces: +/- 110

Proposed number of onsite (off-street) parking spaces: 295

Days and hours of operation (for any business uses): N/A

Explain in detail what (if any) new additions or construction is proposed on the site:
Construction of a +/- 283 unit Apartment Building with 295 parking spaces.

Reason for request:

The courts have distinguished between use variances (for uses which are not permitted) and area variance (for excess lot coverage, additions into required yards, etc.). Be aware that *the standards of proof for a use variance are much more demanding* than for an area variance and that *the burden is on the applicant* to provide such proof in arguing their case. (See Standard of Proof requirements on required submittal page.)

Use additional sheets of paper to present proof if necessary.

Seeking relief from the zoning codes from required rear and side setback requirements and maximum building coverage. Also see attached.

	Required	Provided
Side Yard	14'	10'
Coverage	40%	86% (in RB Zone)
Front Yard	10'	1.4' Ashworth/0.9' East Genesee
Density	1,000 SF/Unit	247 SF/Unit (average project Density)

The following affirmation must be signed and dated by the CURRENT PROPERTY OWNER or the owner's LEGAL representative (attorney, power of attorney, partner in the business, etc.).

DECLARATION

I understand that false statements made herein are punishable as a Class A Misdemeanor, pursuant to section 210.45 of the Penal Law of the State of New York. I declare that, subject to the penalties of perjury, any statements made on this application and any attachments are the truth and to the best of my knowledge correct.

I also understand that any false statements and/or attachments presented knowingly in connection with this application will make consideration of this application null and void.

JAY Signature of CURRENT PROPERTY OWNER (or owner's LEGAL representative) 12/20/18 Date

JAMES A. MALEICH, JR. / AUTHORIZED SIGNATORY
Printed or typed name of person whose signature is above (if legal representative also state relationship to owner).

SYRACUSE BOARD OF ZONING APPEALS
CITY HALL COMMONS, ROOM 101
201 EAST WASHINGTON STREET
SYRACUSE, NY 13202
(315) 448-8640

Board of Zoning Appeals application Procedures

Variance applications involve public hearings with the Board of Zoning Appeals. A variance application will not be considered complete on the applicant's part until all required submittals have been received and have been through a preliminary review by Zoning Office staff (and possibly other departments), including an evaluation of the application under the New York State Environmental Quality Review Act (SEQR).

Once an application has been determined to be ready for a public hearing with the Board of Zoning Appeals, it will be scheduled for the **next available** hearing date (allowing the necessary time from for the Board's authorization, newspaper publication, mailing schedules, etc.). A "Public Notice" regarding the hearing date will then be mailed to the applicant (and representative, if any), approximately ten (10) days prior to the hearing date.

The public notice is also published in the Syracuse Post Standard newspaper ten (10) days prior to the hearing date. Public notices are also sent to property owners contiguous to any property subject to a public hearing, and to other city departments and neighborhood organizations.

The application, and its contents, will then be open for inspection at the Syracuse Office of Zoning Administration during regular office hours.

Unless otherwise notified, all meetings at which public hearings are to be held will begin at 1:00 p.m. in the Common Council Chambers on the third floor of City Hall.

The applicant or his or her representative **must attend** the public hearing to explain the case request to the Board of Zoning Appeals. (The rules of the Board of Zoning Appeals **do not permit postponements** due to the absences of applicants or their representatives.) A variance decision is not final until a written resolution is adopted by the Board of Zoning Appeals and filed with the secretary to the Board. Depending upon the situation, the resolution may possibly not be adopted until a later meeting. A copy of the resolution will be mailed to the applicant.

Depending upon the type and complexity of the application, additional necessary reviews, and the hearing schedule, the entire variance application process from the submission of the application to the release of the resolution may take approximately two months.

Please sign that you have read and understand the above information and return this page with the application.

Signed: _____



Date: _____

12/20/18

This application may be mailed or delivered in person to the Syracuse Office of Zoning Administration, located in Room 101 at City Hall Commons, 201 East Washington Street, Syracuse, NY 13202-1426. If you wish to discuss the application with a member of our staff, please call ahead for an appointment (448-8640).



December 21, 2018

City of Syracuse
Attn: Mrs. Heather Lamendola
Syracuse Zoning Office Administrator
201 East Washington St. Room 500
Syracuse, NY 13202

**Re: Michaels Organization – East Genesee Street
Board of Zoning Appeals**

Dear Mrs. Lamendola:

On behalf of our client, Northside Genesee Associates (C/O The Michaels Organization) we respectfully request to be placed on the next available Board agenda for Site Plan Review and consideration of several area variances in association with a proposed multi-story apartment building on the Northside of East Genesee Street between Walnut Avenue and Pine Street. The site currently consists of 12 parcels and 11 multi-family dwellings totaling approximately 1.60 acres in land area. As part of the process, the parcels will be subdivided into a single lot to support the project.

The redevelopment includes the construction of an apartment building serving the needs of a diverse population within the project area. Units will be a variety of two-story townhomes along the streetscape and “flats” on the upper floors. The building will include a variety of project amenities including a courtyard, fitness area, meeting rooms and 295 parking spaces in a covered garage. Site access will be on the northside of the project on Ashworth Place. The Townhomes along both East Genesee Street and Ashworth place are designed with individual entrances to activate the street scape. Given the large right-of-way width, new street trees are proposed between the building and curb line. There will also be a public plaza along the East Genesee frontage need the store front amenity space at the southwestern corner of the building.

The architecture is derived from the Mansion Corridor District and draws from the existing material pallet while complementing the recent construction of 505 Walnut. The massing of the building is designed to recognize the grade change and land uses from South to North as it steps down in total building height.

The site is currently zoned both RC and RB residential; however, the City of Syracuse is in the process of rezoning the parcels to a Mixed-Use Designation. In order to expedite the start of construction and the completion of the project, it is being submitted under the current zoning.

In support of our request attached please find.

- 1 - Copy of Application
- 1 - Full Size Survey
- 1 - Reduced Survey
- 1 - Full Size Site Plan
- 1 - Reduced Site Plan
- 2 - Sets of Floor Plans
- 2 - Sets of Elevations
- 1 - Set of Photos
- 1 - \$25.00 Check (review fee)

Please note that the Environmental Review is currently being conducted by SIDA; therefore, an EAF is not included. Please contact me directly with any questions. Thank you.

Sincerely,



Jess D. Sudol, PE
Vice President

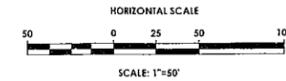
JDS:paf
Encs:

Cc: File
S. Hillebrand
K. McAuliffe

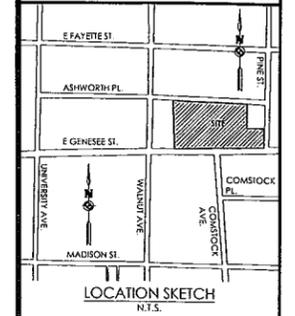
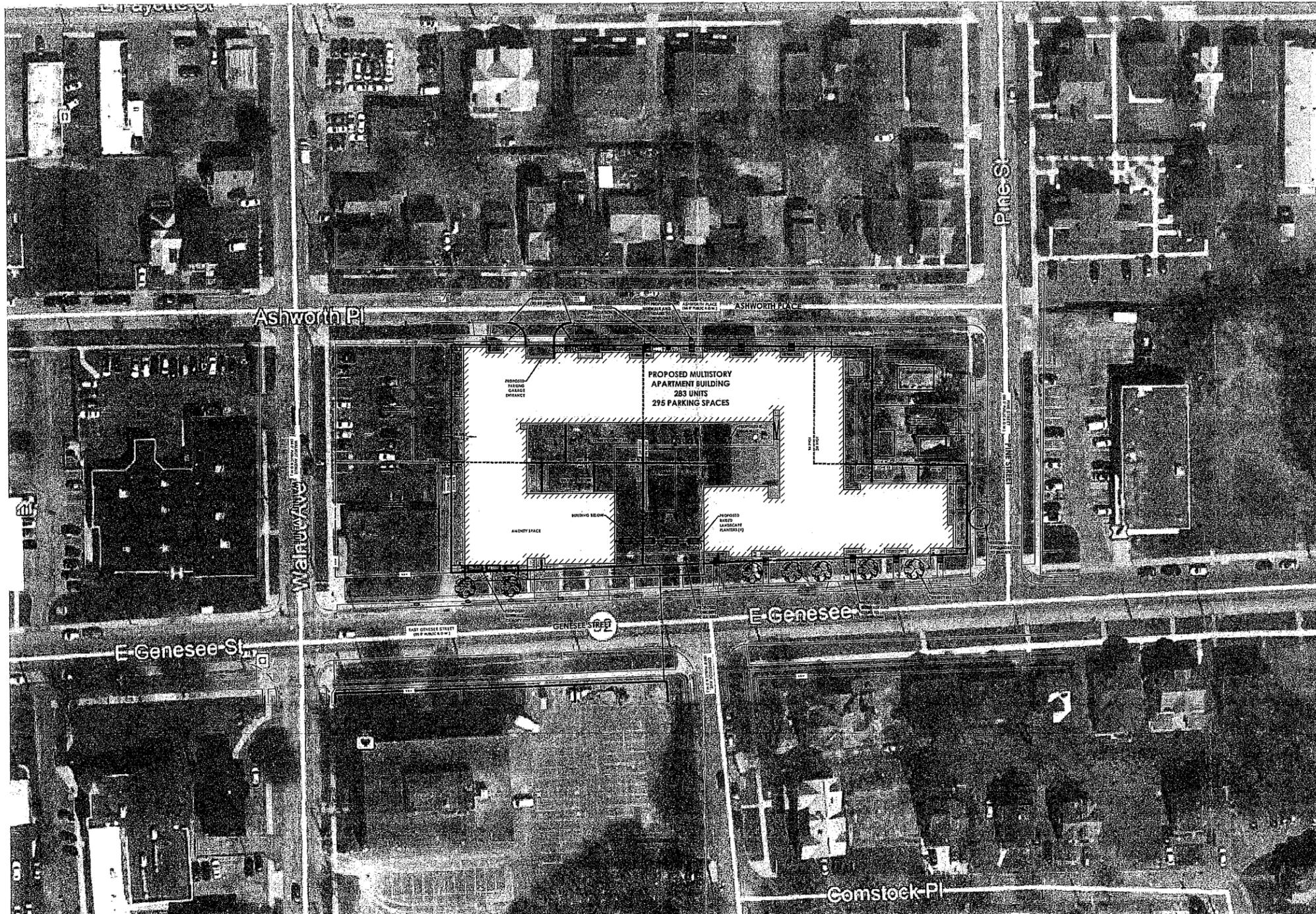
SITE DEVELOPMENT PLANS FOR EAST GENESEE STREET APARTMENTS

CITY OF SYRACUSE, ONONDAGA COUNTY, NEW YORK

P.N. 20172421.0004



PA
PASSERO ASSOCIATES
engineering architecture



Client:
MICHAELS ORGANIZATION
3 East Stow Road
Marlton, NJ

PASSERO ASSOCIATES
243 West Main Street Suite 100
Rochester, New York 14614
Tel: (585) 335-1000
Fax: (585) 335-1491
Principal-in-Charge: Jess D. Sudol, P.E.
Project Manager: Jess D. Sudol, P.E.
Designed by: Tim Harris, P.E.



Revisions			
No.	Date	By	Description
1			

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS IN VIOLATION OF STATE EDUCATION LAW ARTICLE 143 SECTION 7025 AND ARTICLE 147 SECTION 7307. THESE PLANS ARE COPYRIGHT PROTECTED ©

COVER

**MICHAELS ORGANIZATION
EAST GENESEE
APARTMENTS**

Town/City: SYRACUSE
County: ONONDAGA State: New York

Project No:
20172421.0004

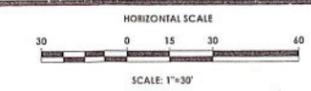
Drawing No. C 101	Sheet No. 1
-----------------------------	-----------------------

Scale:
1" = 50'

Date:
DECEMBER 2018

NOT FOR CONSTRUCTION

Y:\PROJECTS-NEW\2017\2421\20172421.0004\DRAWINGS\ENGINEERING\20172421.0004 - COVER.DWG 12/20/2018 12:15 PM Jan Daniels

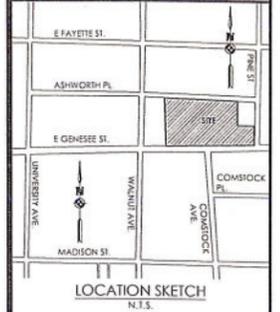


LEGEND:

- PROPERTY BOUNDARY
- RIGHT OF WAY
- EXISTING CENTER LINE ROAD
- SETBACK
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- PROPOSED BUILDING
- PROPOSED PARKING COUNT
- PROPOSED CONCRETE
- PROPOSED ACCESS RAMP W/ DETECTABLE WARNING
- PROPOSED PAVEMENT STRIPING
- PROPOSED CURB
- PROPOSED SIGN
- EXISTING SIGN
- PROPOSED FENCE
- PROPOSED LAWN AREA
- PROPOSED CONCRETE SIDEWALK

- SITE DATA**
- EXISTING ZONING: RESIDENTIAL DISTRICT, CLASS B AND CLASS C
 - EXISTING USE: MULTIFAMILY HOMES
 - PROPOSED USE: APARTMENTS
 - THERE ARE NO FEDERALLY REGULATED WETLANDS ON THIS PARCEL ACCORDING TO THE USACE FEDERAL WETLANDS INVENTORY.
 - THERE ARE NO STATE REGULATED WETLANDS ON THIS PARCEL ACCORDING TO NYSDEC WETLAND INVENTORY.
 - PUBLIC WATER WILL BE PROVIDED BY THE SYRACUSE WATER DEPARTMENT.
 - ELECTRIC & GAS SERVICE WILL BE SUPPLIED BY NATIONAL GRID.
 - SANITARY SEWER WILL BE PROVIDED BY THE CITY OF SYRACUSE.
 - STORM SEWER AND DRAINAGE FACILITIES WILL BE PRIVATE.
 - ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE CURRENT DEVELOPMENT STANDARDS AND SPECIFICATIONS OF CITY OF SYRACUSE.

- GENERAL NOTES:**
- CONTRACTOR IS RESPONSIBLE TO CALL CENTRAL STAKE-OUT @ 1-800-962-7942 PRIOR TO BEGINNING DEMOLITION.
 - CONTRACTOR TO KEEP ROAD CLEAR & CLEAN DURING DEMOLITION AND SHALL COORDINATE WITH THE CITY OF SYRACUSE AND THE OWNER.
 - CONTRACTOR IS RESPONSIBLE TO REMOVE NON- CONCRETE/MASONRY MATERIALS FROM THE PROJECT SITE.
 - CONTRACTOR IS RESPONSIBLE TO PROTECT ALL UTILITIES AND CONDUITS ON SITE DURING CONSTRUCTION.
 - ANY EXISTING UTILITIES OR CONDUITS THAT ARE TO BE ABANDONED AND ARE NOT LOCATED IN THE AREA OF PROPOSED IMPROVEMENTS MAY BE CUT, CAPPED AND/OR FILLED.
 - ANY ABANDONMENT OF EXISTING ELECTRICAL, NATURAL GAS FACILITIES OR OTHER UTILITY SHALL BE COORDINATED WITH A REPRESENTATIVE FROM THE UTILITY COMPANY.
 - THE CITY RIGHT OF WAY SHALL NOT BE USED AS A STAGING AREA BY THE CONTRACTOR, UNLESS APPROVAL RECEIVED FROM THE CITY OF SYRACUSE. IF APPROVAL GRANTED, ALL SURFACES SHALL BE RESTORED TO A CONDITION DETERMINED BY THE CITY, WITHOUT EXCEPTION.
 - ALL PROPOSED SIGNS SHALL BE IN ACCORDANCE WITH MUTCD, LATEST EDITION.



Client:
MICHAELS ORGANIZATION
 3 East Stow Road
 Marlton, NJ

PASSERO ASSOCIATES
 242 West Main Street Suite 100
 Rochester, New York 14614
 (585) 535-1000
 Fax: (585) 535-1491
 Principal-in-Charge: Jess D. Sudol, P.E.
 Project Manager: Jess D. Sudol, P.E.
 Designed by: Tim Harris, P.E.



Revisions

No.	Date	By	Description
1			

SITE & LANDSCAPING PLAN

MICHAELS ORGANIZATION
 EAST GENESEE APARTMENTS

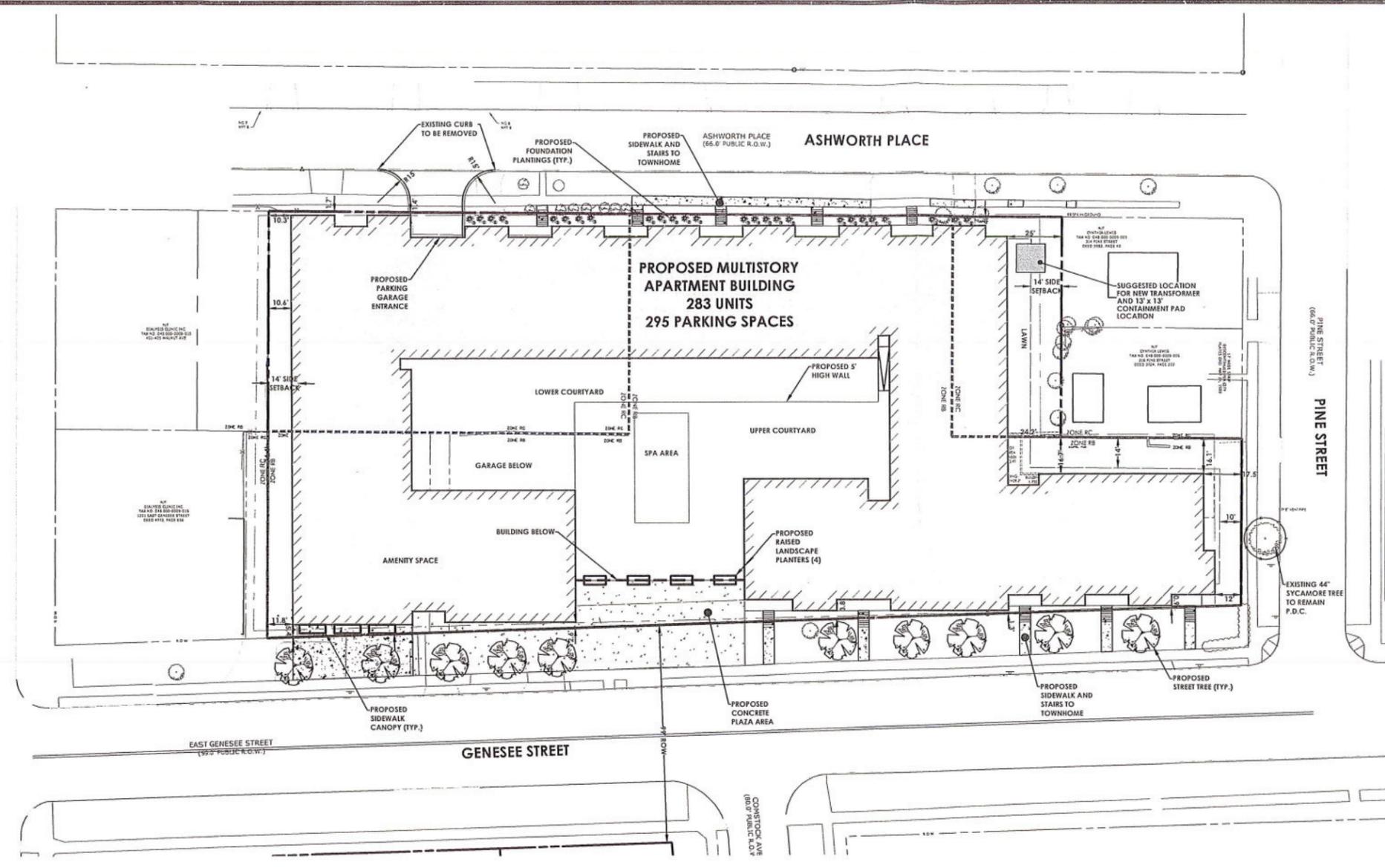
Town/City: SYRACUSE
 County: ONONDAGA State: New York

Project No.: **20172421.0004**

Drawing No.: **C 101** Sheet No.: **2**

Scale: **1" = 30'**

Date: **DECEMBER 2018**



ZONING ANALYSIS - RESIDENTIAL DISTRICT CLASS B

	REQUIRED	PROVIDED
BUILDING SEPARATION	N/A	N/A
MAXIMUM BUILDING HEIGHT	N/A	280' FROM ASHWORTH PLACE ELEVATION 248 FT FROM EAST GENESEE STREET
FRONT YARD SETBACK	10'-0"	0.6'
SIDE YARD SETBACK	4' OR ANY BUILDING OR STRUCTURE ABOVE TWO (2) STORIES IN HEIGHT, MUST PROVIDE ADDITIONAL SIDE YARD SPACE FOR EACH ADDITIONAL STORY ABOVE TWO (2) AT THE RATE OF TWO (2) ADDITIONAL FEET ABOVE THE MINIMUM SIDE YARD REQUIREMENTS EXCEPT ON THE STREET SIDE OF CORNER LOTS. IN COMPUTING SUCH ADDITIONAL SPACE, SUCH INCREASES PER STORY, SHALL APPLY ABOVE THE SECOND STORY, NOT AT THE GROUND LEVEL. = 5 STORIES (ABOVE 2) X 2 FT = 10 FT + 4 FT = 14 FT TOTAL	10.3'
REAR YARD SETBACK	THE MINIMUM REAR YARD SHALL BE TWENTY (20) FEET OR 15% OF THE LOT DEPTH, WHICHEVER IS GREATER. IN ADDITION TO THE FOREGOING REAR YARD REQUIREMENTS, ANY BUILDING OR STRUCTURE ABOVE TWO (2) STORIES IN HEIGHT, SHALL PROVIDE ADDITIONAL REAR YARD SPACE FOR EACH ADDITIONAL STORY ABOVE TWO (2) AT THE RATE OF TWO (2) ADDITIONAL FEET ABOVE THE MINIMUM REAR YARD REQUIREMENTS EXCEPT ON THE STREET SIDE OF CORNER LOTS. IN COMPUTING SUCH ADDITIONAL SPACE, SUCH INCREASES, PER STORY, SHALL APPLY ABOVE THE SECOND STORY, NOT AT GROUND LEVEL. = 5 STORIES (ABOVE 2) X 2 FT = 10 FT + 20 FT = 34 FT TOTAL	N/A
MAX IMPERVIOUS COVERAGE	STRUCTURAL COVERAGE: MAXIMUM PERMITTED STRUCTURAL COVERAGE ON A LOT SHALL BE 30% FOR SINGLE- AND TWO-FAMILY DWELLINGS. FOR MULTIPLE-FAMILY DWELLINGS AND OTHER PERMITTED USES THE MAXIMUM PERMITTED STRUCTURAL COVERAGE SHALL BE 40%. PARKING SURFACE COVERAGE: MAXIMUM PERMITTED PARKING SURFACE COVERAGE SHALL BE 40%.	86%
MINIMUM PARKING STALLS	ONE (1) PARKING SPACE SHALL BE PROVIDED FOR EACH DWELLING UNIT =	295
MINIMUM STALL SIZE	9'x18'	9' x 18'
DENSITY	NO MULTIPLE-FAMILY DWELLING SHALL BE ERRECTED, ALTERED OR USED WHICH DOES NOT PROVIDE A LOT AREA OF AT LEAST ONE THOUSAND (1000) SQUARE FEET FOR EACH FAMILY OR DWELLING UNIT. *IN THE CASES OF FRATERNITIES, SORORITIES, CHAPTER HOUSES, COLLEGES, BOARDING HOUSES, ROOMING HOUSES, DOMINIONS, CARE HOMES AND THE LIKE WHICH PROVIDE OTHER THAN INDEPENDENT LIVING UNITS, FOR THE PURPOSE OF APPLYING THE FOREGOING DENSITY RULE, FOUR (4) PERSONS SHALL BE DEEMED EQUIVALENT TO A FAMILY OR DWELLING UNIT. = 1000 SF/UNIT X 213 UNITS = 213,000 SF	247 SF/UNIT

ZONING ANALYSIS - RESIDENTIAL DISTRICT CLASS C

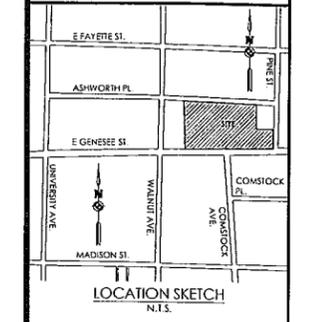
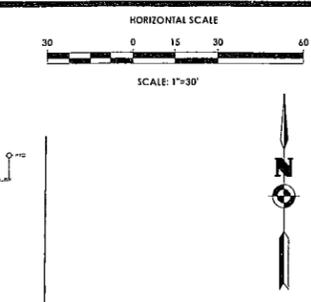
	REQUIRED	PROVIDED
BUILDING SEPARATION	N/A	N/A
MAXIMUM BUILDING HEIGHT	NO BUILDING OR STRUCTURE SHALL HEREAFTER BE ERRECTED OR STRUCTURALLY ALTERED TO EXCEED A HEIGHT OF TWO (2) STORIES, EXCLUDING STORES USED EXCLUSIVELY FOR PARKING PURPOSES, PROVIDED, HOWEVER, THAT THE CUMULATIVE HEIGHT OF ANY BUILDING OR STRUCTURE SHALL NOT EXCEED THIRTY SIX (36) FEET.	280' FROM ASHWORTH PLACE ELEVATION 248 FT FROM EAST GENESEE STREET
FRONT YARD SETBACK	30'-0"	1.4'
SIDE YARD SETBACK	THE SIDE YARDS SHALL HAVE AN AGGREGATE WIDTH OF AT LEAST 25% OF THE LOT WIDTH, MEASURED AT THE FRONT BUILDING LINE, BUT NEITHER OF WHICH SHALL BE LESS THAN TEN (10) FEET IN WIDTH AT ANY POINT, WHICH YARDS SHALL NOT BE OCCUPIED BY ANY BUILDING OR PROJECTION THEREFROM.	10.3'
REAR YARD SETBACK	THE MINIMUM REAR YARD SHALL BE UNOCCUPIED BY ANY BUILDING OR PROJECTION THEREOF AND HAVE A DEPTH EQUAL TO 15% OF THE LOT DEPTH OR TWENTY (20) FEET, WHICHEVER IS GREATER.	N/A
MAX IMPERVIOUS COVERAGE	STRUCTURAL COVERAGE: THE MAXIMUM PERMITTED STRUCTURAL COVERAGE OF BUILDINGS AND STRUCTURES ON A LOT SHALL BE 25%. PARKING SURFACE COVERAGE: MAXIMUM PERMITTED PARKING SURFACE COVERAGE SHALL BE 40%.	80%
MINIMUM PARKING STALLS	ONE (1) PARKING SPACE SHALL BE PROVIDED FOR EACH DWELLING UNIT =	295
MINIMUM STALL SIZE	9'x18'	9' x 18'
DENSITY	FOR SINGLE-FAMILY DWELLINGS, A LOT AREA OF AT LEAST FOUR THOUSAND (4000) SQUARE FEET PER DWELLING UNIT SHALL BE PROVIDED. FOR TWO-FAMILY DWELLINGS, A LOT AREA OF AT LEAST THREE THOUSAND (3000) SQUARE FEET PER DWELLING UNIT SHALL BE PROVIDED. NO MULTIPLE-FAMILY DWELLING SHALL BE ERRECTED, ALTERED OR USED WHICH DOES NOT PROVIDE A LOT AREA OF AT LEAST TWENTY FIVE HUNDRED (2500) SQUARE FEET FOR EACH FAMILY DWELLING UNIT.	247 SF/UNIT

PROPERTY INFORMATION

ADDRESS	TAX ACCOUNT NUMBER	ZONING DISTRICT	PERCEL AREA
208 ASHWORTH PLACE	048.000-0009-001	RC	6639 SF
210 ASHWORTH PLACE	048.000-0009-002	RC	3316 SF
212-214 ASHWORTH PLACE	048.000-0009-003	RC	6444 SF
1219-21 EAST GENESEE STREET	048.000-0009-014	RB	7320 SF
1225-27 EAST GENESEE STREET	048.000-0009-013	RB	4045 SF
1231 EAST GENESEE STREET	048.000-0009-012	RB	3701 SF
1237 EAST GENESEE STREET	048.000-0009-011	RB	5710 SF
1301 EAST GENESEE STREET	048.000-0009-010	RB	23179 SF
1311 EAST GENESEE STREET	048.000-0009-009	RB	2653 SF
1317 EAST GENESEE STREET	048.000-0009-008	RB	3170 SF
1323 EAST GENESEE STREET	048.000-0009-007	RB	3296 SF
11 PROPERTIES			TOTAL LOT AREA = 69,673 SF

Y:\PROJECTS-NEW\2017\20172421\DRAWINGS\ENGINEERING\20172421.0004\LANDSCAPING.DWG 12/20/2018 12:14 PM Jon Daniels

NOT FOR CONSTRUCTION



Client:
MICHAELS ORGANIZATION
3 East Stow Road
Marlton, NJ

PASSERO ASSOCIATES
210 West Adams Street Suite 100
Rochester, New York 14614
Phone: (585) 235-1000
Fax: (585) 235-1697
Principal-in-Charge: Jess D. Sudol, P.E.
Project Manager: Jess D. Sudol, P.E.
Designed by: Tim Harris, P.E.



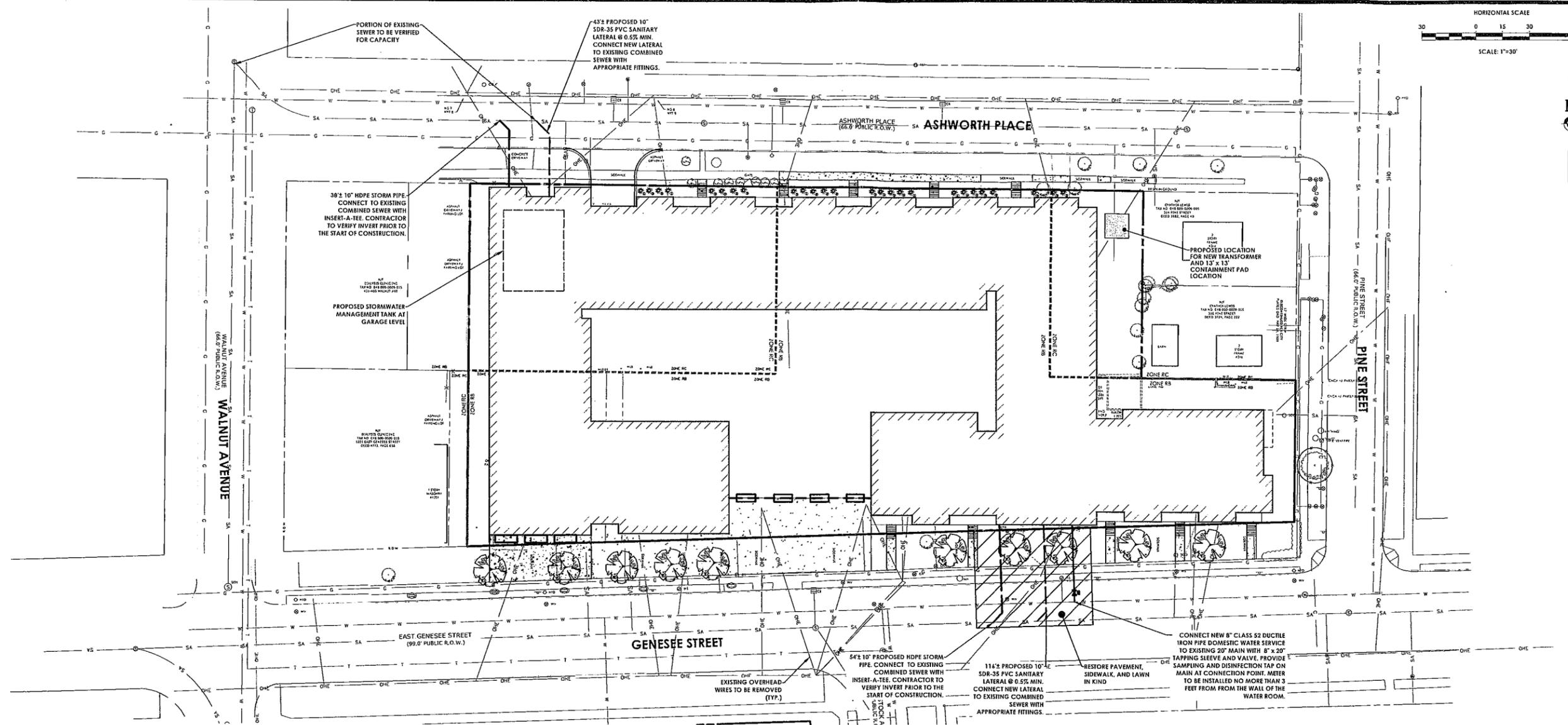
Revisions			
No.	Date	By	Description
1			

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS IN VIOLATION OF STATE EDUCATION LAW ARTICLE 145 SECTION 2009 AND ARTICLE 147 SECTION 2009. THESE PLANS ARE COPYRIGHT PROTECTED ©

UTILITY PLAN
MICHAELS ORGANIZATION
EAST GENESEE APARTMENTS
Town/City: SYRACUSE
County: ONONDAGA State: New York

Project No:
20172421.0004
Drawing No. C 102 Sheet No. 3
Scale: 1" = 30'
Date: **DECEMBER 2018**

NOT FOR CONSTRUCTION



STANDARD WATER MAIN EXTENSION NOTES:

1. THE WATER MAIN SHALL BE DISINFECTED EQUAL TO AWWA STANDARD FOR DISINFECTING WATER MAINS DESIGNATION C651 (LATEST REVISION). FOLLOWING DISINFECTION, THE WATER MAIN PIPELINE SHALL BE FLUSHED UNTIL THE CHLORINE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT GENERALLY PREVAILING IN THE SYSTEM. ALL WATER MAIN FITTINGS NOT RECEIVING 24-HOUR CHLORINE DISINFECTION CONTACT TIME MUST BE SWAB DISINFECTED 30 MINUTES PRIOR TO INSTALLATION. THE SAMPLING POINT(S) MUST BE DECONTAMINATED BY FLAMING. FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS. THE ONONDAGA COUNTY DEPARTMENT OF PUBLIC HEALTH MUST RECEIVE AT LEAST 48-HOUR ADVANCE NOTIFICATION REQUESTING SAMPLING SERVICES. SAMPLING WILL NOT BE PERFORMED PRIOR TO RECEIPT FROM A NEW YORK STATE LICENSED OR REGISTERED DESIGN PROFESSIONAL (ENGINEER, ARCHITECT OR LAND SURVEYOR WITH A SPECIAL EXEMPTION UNDER SECTION 7208(n) OF THE EDUCATION LAW) CERTIFYING THAT THE WATER SUPPLY IMPROVEMENTS, TESTING AND DISINFECTION PROCEDURES WERE COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS, REPORTS, SPECIFICATIONS AND ANY APPROVED AMENDMENTS. THE DEPARTMENT WILL COLLECT SAMPLES FOR FREE CHLORINE RESIDUAL, TOTAL COLIFORM, ESCHERICHIA COLI (E. COLI) AND TURBIDITY. THE WATER MAIN PIPE AND APPURTENANCES SHALL NOT BE PLACED INTO SERVICE UNTIL SO AUTHORIZED BY THE ONONDAGA COUNTY DEPARTMENT OF PUBLIC HEALTH.
2. MINIMUM VERTICAL SEPARATION BETWEEN WATER MAIN PIPELINES AND SEWER PIPELINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPE AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES OR VAULTS.
3. WHEN INSTALLING FIRE HYDRANTS, SHOULD GROUND WATER BE ENCOUNTERED WITHIN SEVEN (7) FEET OF THE FINISHED GRADE, FIRE HYDRANT WEEP HOLES (DRAINS) SHALL BE PLUGGED.
4. THE WATER MAIN PIPELINE AND APPURTENANCES SHALL BE PRESSURE/LEAKAGE TESTED IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE AWWA STANDARD C600 (LATEST REVISION) OR IN ACCORDANCE WITH MORE STRINGENT REQUIREMENTS IMPOSED BY THE SUPPLIER OF WATER.

UTILITY NOTES:

1. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL UTILITY CONNECTIONS WITH MECHANICAL/ARCHITECTURAL DRAWINGS FOR LOCATION, PENETRATION, AND SIZES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE WITH ALL SUBCONTRACTORS FOR PROPER UTILITY CONNECTION LOCATIONS. ANY DISCREPANCIES SHALL BE IMMEDIATELY DESCRIBED TO ENGINEER AND ARCHITECT.
2. THE DEVELOPER AND HIS/HER CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRICAL, CABLE, TELEPHONE AND ANY OTHER UTILITIES NOT SPECIFICALLY SHOWN WITHIN THIS PLAN SET WITH APPROPRIATE AGENCY. PASSERO ASSOCIATES ASSUMES NO RESPONSIBILITY FOR THE DESIGN OR PERFORMANCE OF UTILITIES NOT SPECIFICALLY SHOWN WITHIN THIS PLAN SET.
3. THE CONTRACTOR IS REQUIRED TO COORDINATE WITH SITE CONTRACTOR/PLUMBER & SEWER CONTRACTOR TO DETERMINE THE NECESSARY WYE & CLEANOUT LOCATION ON THE STORM SEWER SYSTEM. THE STORM SEWER SYSTEM IS RECOMMENDED AND MAY BE MODIFIED TO PROVIDE ADEQUATE ROOF DRAINAGE CONNECTIONS.
4. THRUST BLOCKS ON THE WATERMAIN ARE REQUIRED AT BENDS, TEES OR PLUGS. SEE DETAIL SHEETS FOR THRUST BLOCK DETAILS.

STORM NOTES

1. STORM SEWER LATERAL MATERIAL SHALL BE PVC SDR-35 4" MIN. SIZE & SHALL BE LAID AT A MINIMUM GRADE OF 1/4" PER FT.
2. STORM SEWER MATERIAL INCLUDING CROSSOVERS SHALL BE ADS HDPE 12" MIN.
3. DOWNSPOUTS TO BE CONNECTED TO STORM SEWER WHERE APPLICABLE.

SANITARY NOTES

1. SANITARY SEWER LATERAL MATERIAL SHALL BE PVC SDR-21 - 4" MINIMUM SIZE AND SHALL BE LAID AT A MINIMUM GRADE OF 1/4" PER FOOT.
2. SANITARY SEWER MATERIAL SHALL BE PVC SDR-35, 8" MINIMUM SIZE AND MINIMUM SLOPE - 0.4%.
3. INFILTRATION AND EXFILTRATION FOR SANITARY SEWERS SHALL BE LIMITED TO 100 GALLONS PER MILE PER INCH DIAMETER OF PIPE PER 24 HOURS.
4. IF AN AIR TEST IS USED, THE TEST AS A MINIMUM SHALL CONFORM TO THE PROCEDURE DESCRIBED IN ASTM C-829-80, ENTITLED STANDARD PRACTICE FOR LOW PRESSURE AIR TEST OF VERIFIED CLAY PIPELINES; SANITARY MANHOLES SHALL BE TESTED FOR EXFILTRATION.
5. VACUUM TESTING OF MANHOLES IS ALLOWED. THE CONTRACTOR IS CAUTIONED TO SPEAK TO THE SUPERINTENDENT OF SEWERS PRIOR TO COMMENCING WITH PLANS TO VACUUM TEST.
6. DEFLECTION TEST - TEN STATE STANDARDS.
- 6.A. DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS.
- 6.B. IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDREL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
- 6.C. HD PIPE SHALL EXCEED A DEFLECTION OF 5%.
7. ALL SANITARY SEWER INSTALLATION SHALL BE MADE IN CONFORMANCE WITH THE SPECIFICATIONS, REGULATIONS, AND POLICIES OF THE PENFIELD SEWER DISTRICT.
8. ALL HOUSE LATERALS SHALL HAVE A CLEANOUT AT THE PROPERTY LINE OR EASEMENT LINE.
9. FLOOR DRAINS, IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY SEWER/COMBINATION SEWER. (FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS). ALL DISCHARGES TO THE SANITARY/ COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR THE ONONDAGA COUNTY SEWER USE LAW.

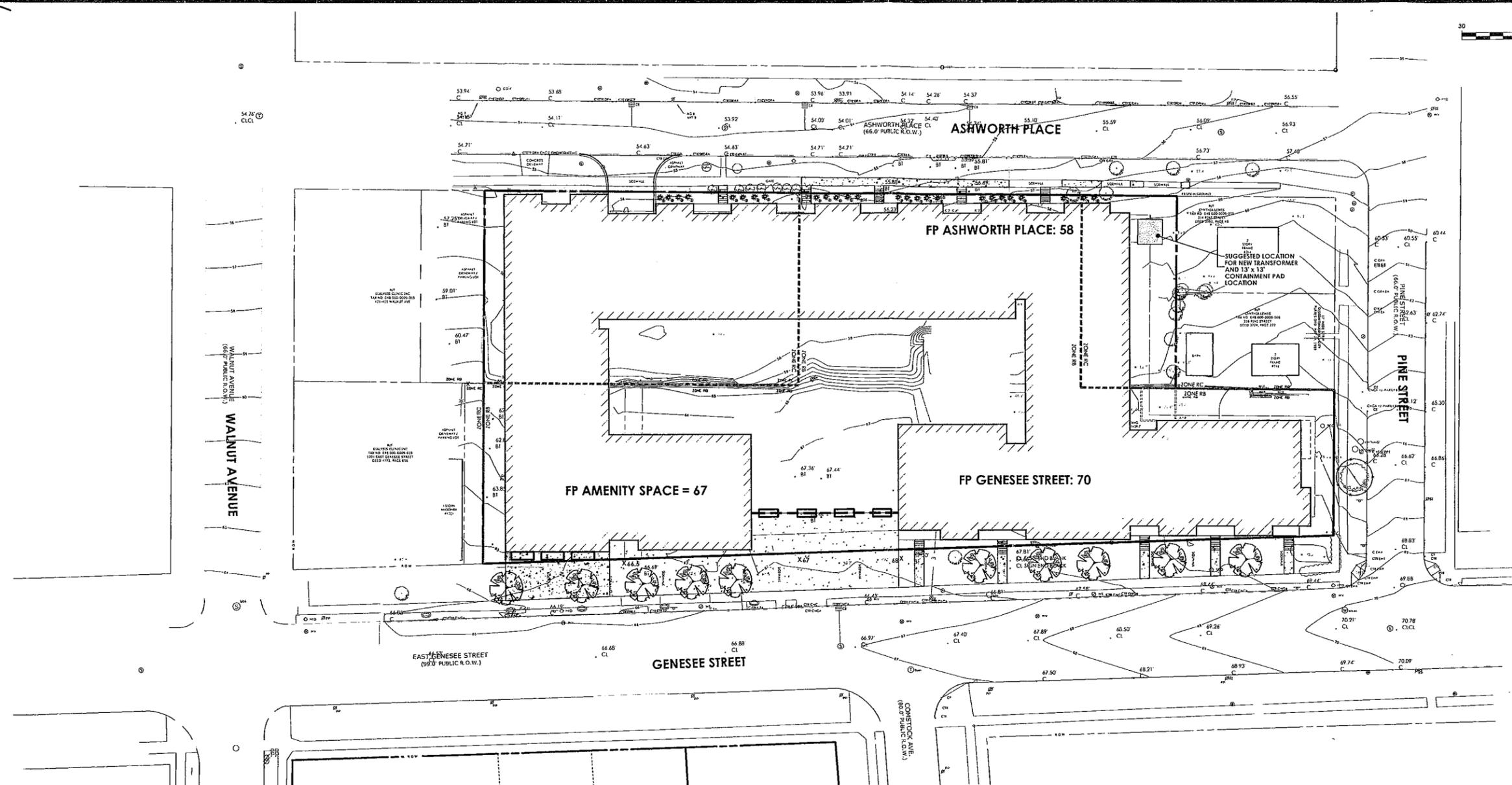
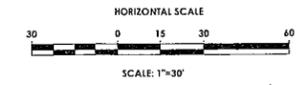
LATERAL NOTES

1. ALL STORM AND SANITARY LATERALS SHOWN ON THIS PLAN ARE 4" DIAMETER TO BE INSTALLED AT 1% MINIMUM, UNLESS OTHERWISE NOTED.
2. SITE CONTRACTOR SHALL INSTALL LATERALS AND STUB UP TO 1 FOOT ABOVE FLOOR LOCATION. PLUMBING CONTRACTOR SHALL PROVIDE CONNECTION TO SUBBED PIPE.
3. PLUMBING CONTRACTOR AND SITE CONTRACTOR SHALL COORDINATE ON ALL CONNECTIONS AND FINAL LOCATIONS PRIOR TO INSTALLATION OF ALL LATERALS.
4. SITE CONTRACTOR SHALL OBTAIN ALL PERMITS AND HAVE ALL NECESSARY LICENSED OR CERTIFIED PERSONNEL PRESENT FOR INSTALLATION.

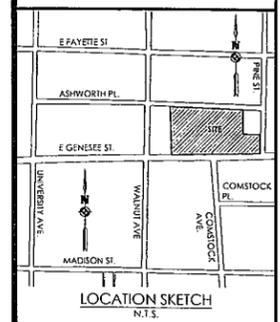
GENERAL NOTES:

1. CONTRACTOR IS RESPONSIBLE TO CALL CENTRAL STAKE-OUT @ 1-800-962-7962 PRIOR TO BEGINNING DEMOLITION.
2. CONTRACTOR TO KEEP ROAD CLEAR & CLEAN DURING DEMOLITION AND SHALL COORDINATE WITH THE CITY OF SYRACUSE AND THE OWNER.
3. CONTRACTOR IS RESPONSIBLE TO REMOVE NON- CONCRETE/MASONRY MATERIALS FROM THE PROJECT SITE.
4. CONTRACTOR IS RESPONSIBLE TO PROTECT ALL UTILITIES AND CONDUITS ON SITE DURING CONSTRUCTION.
5. ANY EXISTING UTILITIES OR CONDUITS THAT ARE TO BE ABANDONED AND ARE NOT LOCATED IN THE AREA OF PROPOSED IMPROVEMENTS MAY BE CUT, CAPPED AND/OR FILLED.
6. ANY ABANDONMENT OF EXISTING ELECTRICAL, NATURAL GAS FACILITIES OR OTHER UTILITY SHALL BE COORDINATED WITH A REPRESENTATIVE FROM THE UTILITY COMPANY.
7. ALL FILL AREAS SHALL BE COMPACTED TO 95% ORIGINAL DENSITY PER STANDARD PROCTOR TEST. THIS SHALL BE CERTIFIED TO ENGINEER IN ALL AREAS OF FILL BY A LICENSED TESTING COMPANY.

Y:\PROJECTS-NEW\2017\20172421\20172421.0004\DRAWINGS\ENGINEERING\20172421.0004 GRADING_UTILITY.DWG 12/20/2018 12:14 PM Jan Daniels



PA
PASSERO ASSOCIATES
engineering architecture



Client:
MICHAELS ORGANIZATION
3 East Stow Road
Marlton, NJ

PASSERO ASSOCIATES
242 West Main Street Suite 100
Rochester, New York 14614
(585) 326-1000
Fax: (585) 325-1691
Principal-in-Charge: Jess D. Sudol, P.E.
Project Manager: Jess D. Sudol, P.E.
Designed by: Tim Harris, P.E.



Revisions			
No.	Date	By	Description
1			

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS IN VIOLATION OF STATE EDUCATION LAW ARTICLE 145 SECTION 2309 AND ARTICLE 147 SECTION 2307. THESE PLANS ARE COPYRIGHT PROTECTED ©

GRADING PLAN

MICHAELS ORGANIZATION
EAST GENESEE
APARTMENTS

Town/City: SYRACUSE
County: ONONDAGA State: New York

Project No:
20172421.0004

Drawing No. **C 103** Sheet No. **4**

Scale: **1" = 30'**

Date: **DECEMBER 2018**

SOIL RESTORATION NOTES:

1. TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12" USING CAT-MOUNTED RIPPER, TRACTOR MOUNTED DISC, OR TILLER, MIXING, AND CIRCULATING AIR AND COMPOST INTO SUBSOILS.
2. ROCK-PICK UNTIL UNLIFTED STONE/ROCK MATERIALS OF 4" AND LARGER ARE CLEARED OFF SITE.
3. APPLY TOPSOIL TO A DEPTH OF 4 INCHES ON ALL AREAS BEING RETURNED TO GRASS.
4. VEGETATE AS REQUIRED BY APPROVED PLAN.

SEEDING NOTE

- TO PROVIDE THE FOLLOWING SEED MIXTURES DURING CONSTRUCTION:
- TEMPORARY SEEDING:
RYEGRASS (ANNUAL OR PERENNIAL) @ 30 LBS. PER ACRE OR 0.7 LBS. PER 1000 SQUARE FEET.
- PERMANENT SEEDING:
65% KENTUCKY BLUEGRASS BLEND @ 85 LBS. PER ACRES OR 2.0-2.6 LBS. PER 1000 SQUARE FEET
20% PERENNIAL RYEGRASS @ 26-35 LBS. PER ACRE OR 0.6-0.8 LBS. PER 1000 SQUARE FEET
15% FINE FESCUE @ 19-26 LBS. PER ACRE OR 0.4-0.6 LBS. PER 1000 SQUARE FEET

FOR ALL SEEDING & STABILIZATION MEASURES IT IS THE RESPONSIBILITY OF THE OWNER & DEVELOPER TO ENSURE THAT FINAL STABILIZATION OCCURS AS REQUIRED BY THE NYSDEC. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN 7 DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN 7 DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, THAT AREA WILL BE STABILIZED WITH PERMANENT SEED AND MULCH. AFTER THE ENTIRE SITE IS STABILIZED, THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE SEDIMENT BASIN(S).

CONSTRUCTION SEQUENCE FOR GRADING AND EROSION CONTROL:

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
2. INSTALL SILT FENCE.
3. CONSTRUCT STORMWATER MANAGEMENT AREA AND EROSION CONTROL MEASURES AS SHOWN ON THE PLANS.
4. COORDINATE WORK WITH FOUNDATION CONTRACTOR.
5. GRADE IMPROVEMENTS AREAS WITHIN THE PROJECT SITE. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN 7 DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN 7 DAYS OF THE LAST DISTURBANCE.
6. FINE GRADE.
7. UPON APPROVAL OF THE CITY, REMOVE ALL TEMPORARY SILTATION CONTROLS.
8. SLOPES SHALL NOT EXCEED 1" VERTICAL TO 3" HORIZONTAL MAX. MAINTAIN 1:4 WHERE POSSIBLE.
9. MINIMUM OF 4" OF TOPSOIL IS TO BE PLACED ON ALL LAWN AREAS.
10. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BASED UPON ACTUAL FIELD CONDITIONS ABOVE. CONTRACTOR SHALL PROVIDE FOR THIS COST IN HIS CONTRACT.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITUATION AND EROSION CONTROL MEASURES FROM INSTALLATION THROUGH MAINTENANCE AND REMOVAL AFTER REVEGETATION HAS BEEN ESTABLISHED.
12. ALL EROSION AND SEDIMENT CONTROL METHODS WILL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.

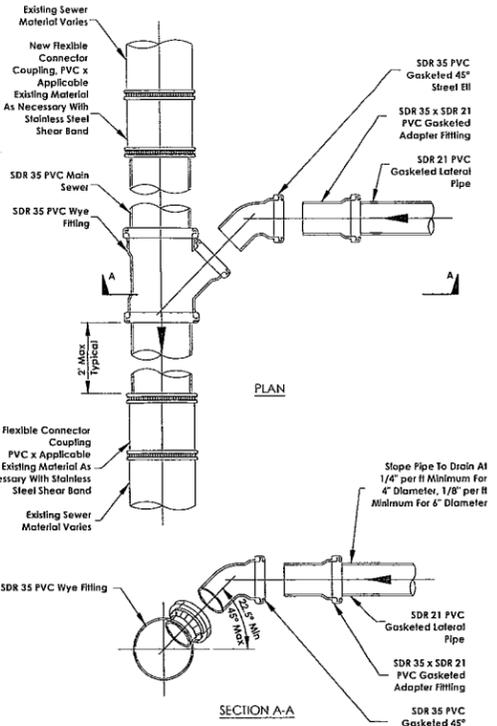


COMPACTION NOTES

1. THE CONTRACTOR SHALL STRIP THE TOPSOIL AND REMOVE ANY UNSUITABLE SOILS. WITHIN THE PROPOSED GRADING LIMITS PRIOR TO PLACEMENT OF FILL MATERIAL.
2. ALL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY OF STANDARD PROCTOR TEST AT OPTIMUM MOISTURE CONTENT.
3. THE COMPACTION TESTS WILL BE CONDUCTED BY A LICENSED TESTING LABORATORY AND RESULTS SUBMITTED TO DESIGN ENGINEER.

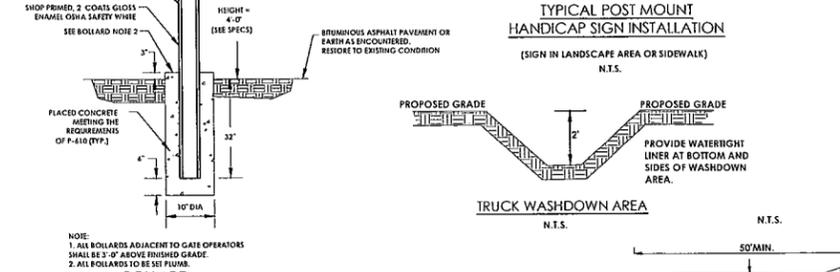
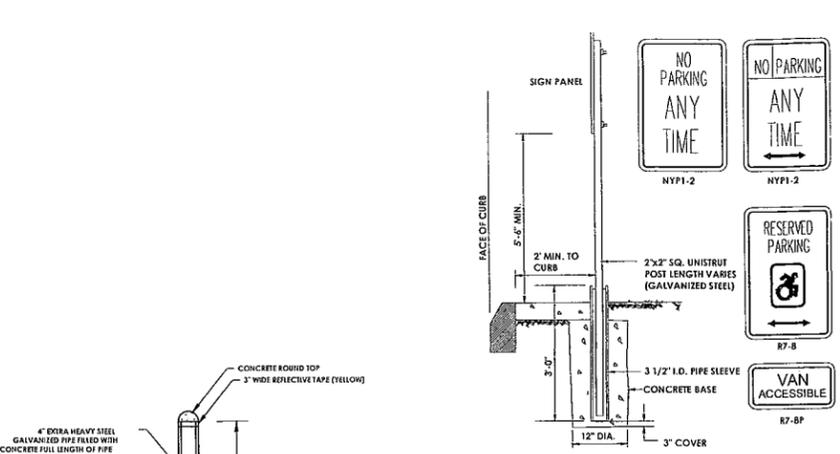
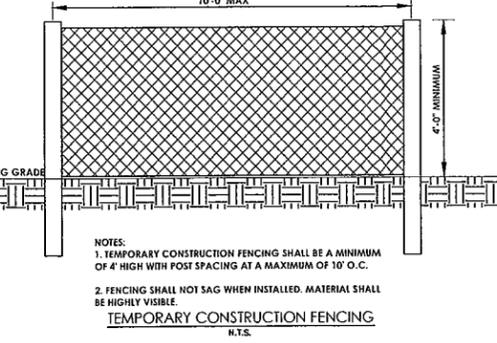
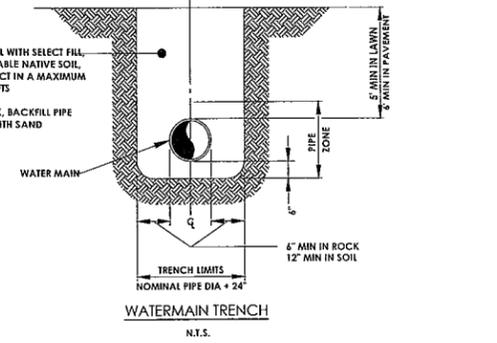
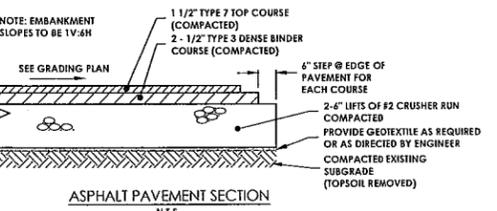
P:\PROJECTS-NEW\2017\20172421\20172421.0004\DRAWINGS\ENGINEERING\20172421.0004 GRADING_FINAL.DWG 12/29/2018 12:13 PM Jon Daniels

NOT FOR CONSTRUCTION

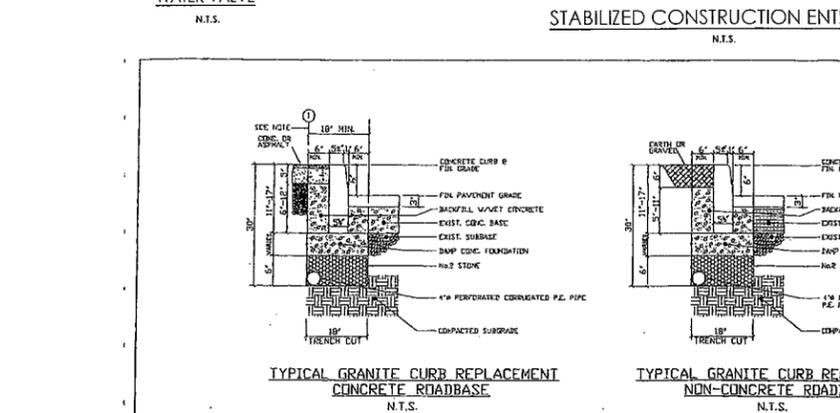


- NOTES:**
- Main sewer pipe, lateral pipe, wye and other fittings shall be gasketed type fittings. Solvent weld joints are not allowed except at cleanouts, see Figures 4.01-4.07.
 - See Figure 1.01 for pipe bedding and backfill.
 - This detail does not apply to existing PVC sewers. See Figure 3.04 for connection to existing PVC sewer.

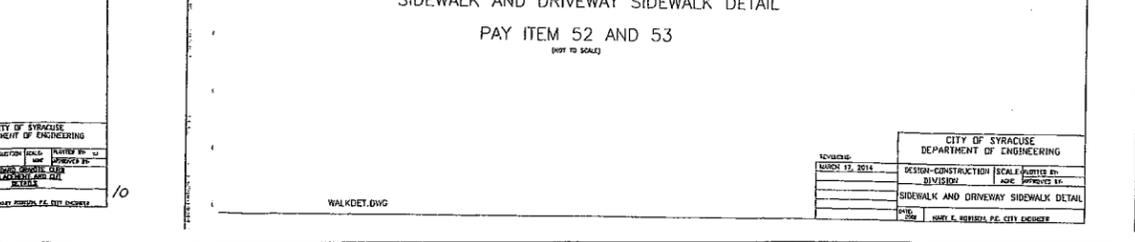
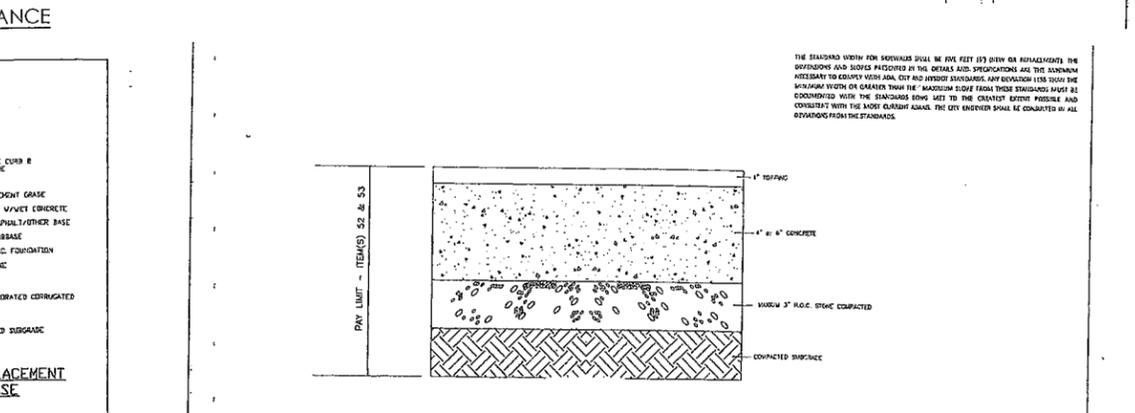
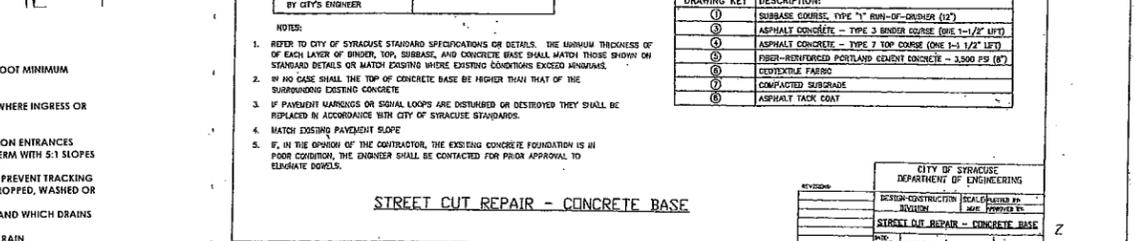
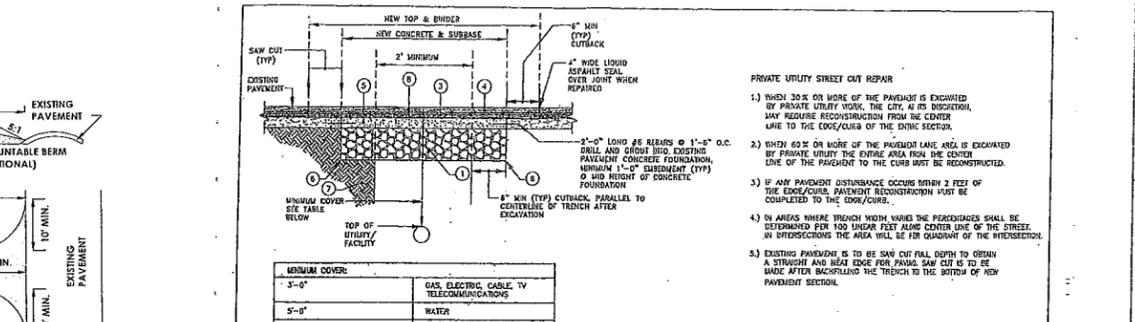
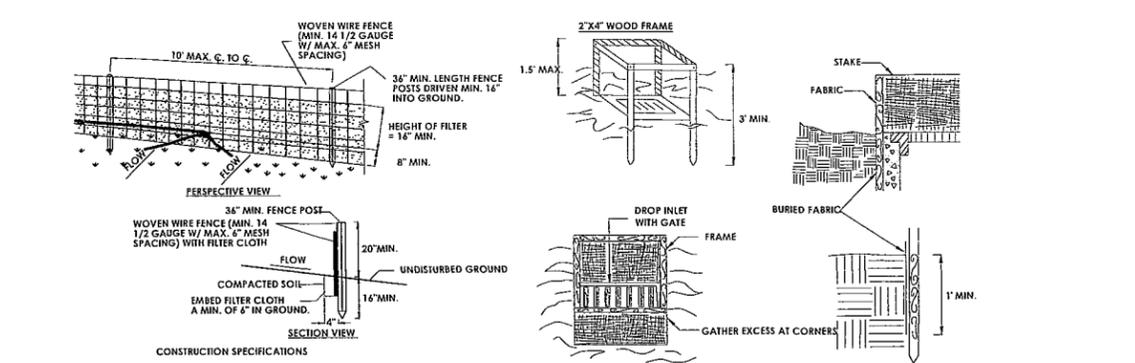
NEW LATERAL WYE CONNECTION TO EXISTING NON-PVC SEWER



- CONSTRUCTION SPECIFICATIONS**
- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
 - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



- NOTES:**
- SIDEWALK OR DRIVEWAY WITH CONCRETE OR ASPHALT SURFACE TO BE SAWCUT 1" BACK FROM FACE OF CURB.
 - REMOVAL AND RESTORATION OF EXISTING AND NEW MATERIAL RESPECTIVELY TO BE AS DIRECTED BY CITY'S ENGINEER.
 - IF DIMENSION FROM TOP OF CURB TO BOTTOM OF CURB IS OPTIONAL DESIGN DIMENSION THIS DIMENSION WILL VARY DUE TO CHANGES IN PAVEMENT GRADES AS PER PLANS OR THE CITY'S ENGINEER.
 - CONCRETE SIDEWALK TO BE 5" OVERALL IN DEPTH OF WHICH FIRST COURSE GROUP FINISH OF 4" IS ON COMPACTED BASE. TOP COURSE TO BE 1" WITH BROAD FINISH (SEE SPECIFICATIONS).



Client:
MICHAELS ORGANIZATION
3 East Stow Road
Marlton, NJ

PASSERO ASSOCIATES
242 West Main Street, Suite 100
Rochester, New York 14614
(585) 325-1000
Fax: (585) 325-1891

Principal-in-Charge: **Jess D. Sudol, P.E.**
Project Manager: **Jess D. Sudol, P.E.**
Designed by: **Tim Harris, P.E.**



Revisions

No.	Date	By	Description
1			

DETAILS

MICHAELS ORGANIZATION
EAST GENESEE APARTMENTS

Town/City: SYRACUSE
County: ONONDAGA State: New York

Project No.
20172421.0004

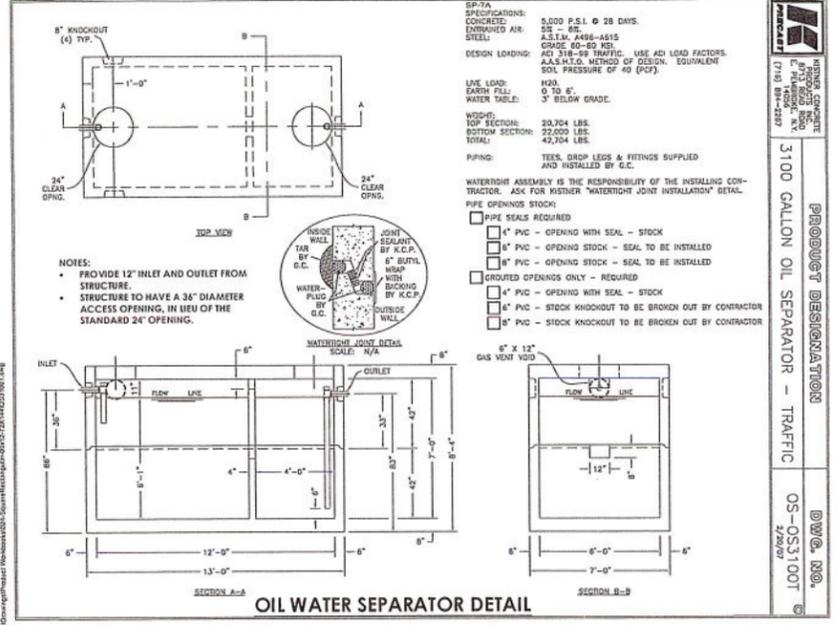
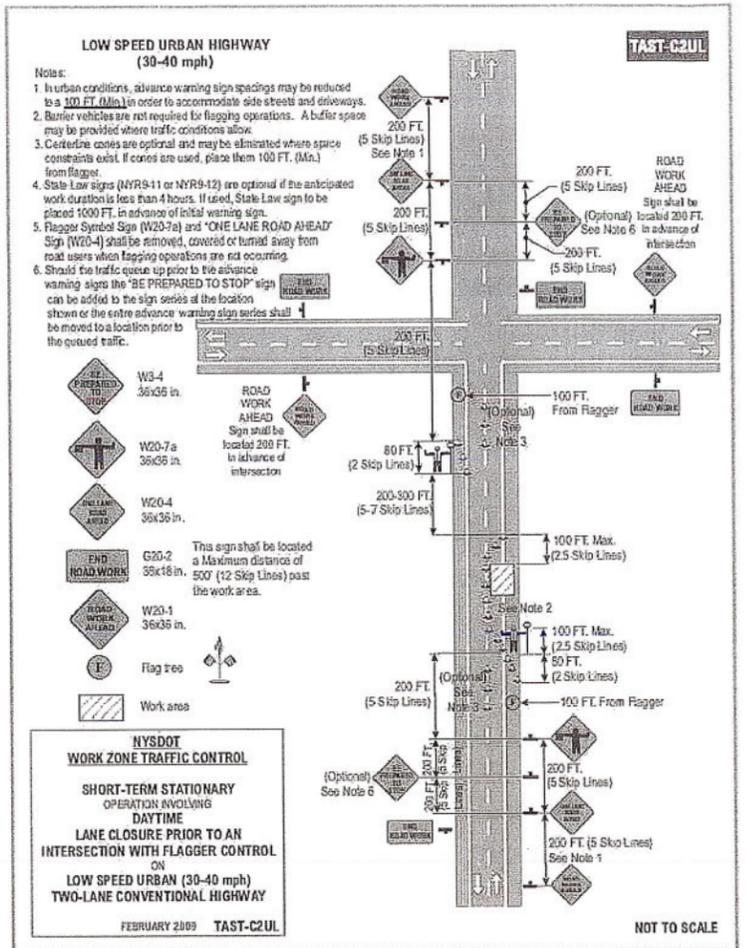
Drawing No. **C 201** Sheet No. **5**

Scale: **1" = 30'**

Date: **DECEMBER 2018**

WORK ZONE TRAFFIC CONTROL GENERAL NOTES:

- GENERAL NOTES**
1. THE TYPICAL DETAILS DEPICTED ON THE STANDARD SHEETS AND IN THE MUTCD, REFLECT THE MINIMUM REQUIREMENTS.
 2. THE CONTRACTOR MUST SUBMIT TO THE ENGINEER, IN WRITING, PROPOSED REVISIONS TO THE TRAFFIC CONTROL PLAN FOR REVIEW AND APPROVAL BY THE REGIONAL DIRECTOR OR HIS/HER DESIGNEE FIVE (5) WORK DAYS PRIOR TO THE PLANNED IMPLEMENTATION OF SUCH PROPOSED REVISIONS, EXCEPT FOR CHANGES THAT ALTER THE SCOPE OF THE TRAFFIC CONTROL PLAN. SUCH CHANGES IN SCOPE MUST BE SUBMITTED TO THE ENGINEER FOR APPROVAL BY THE REGIONAL DIRECTOR OR HIS/HER DESIGNEE THIRTY (30) WORKING DAYS PRIOR TO IMPLEMENTATION OF SUCH REVISIONS.
 3. THE CONTRACTOR SHALL PROVIDE THE ENGINEER, IN WRITING, WITH THE NAMES, ADDRESSES, AND TELEPHONE NUMBERS OF STAFF WHO ARE AUTHORIZED TO SECURE LABOR, MATERIALS, AND EQUIPMENT FOR EMERGENCY REPAIRS OUTSIDE NORMAL WORKING HOURS. THE ENGINEER WILL PROVIDE THE SUBMITTED INFORMATION TO REGIONAL MANAGEMENT, THE NEW YORK STATE POLICE, THE RESIDENT ENGINEER, AND THE LOCAL POLICE.
- ACTIVITY AREA**
1. THE CONTRACTOR SHALL MAINTAIN A MINIMUM 500' LONGITUDINAL DISTANCE BETWEEN CONSTRUCTION OPERATIONS ON ALTERNATE SIDES OF THE ROADWAY, UNLESS OTHERWISE APPROVED BY THE ENGINEER.
 2. WHEN TWO OR MORE AREAS ARE ADJACENT, OVERLAP, OR ARE IN CLOSE PROXIMITY, THE CONTRACTOR SHALL ENSURE THERE ARE NO CONFLICTING SIGNS AND THAT LANE CONTINUITY IS MAINTAINED THROUGHOUT ALL WORK AREAS.
- BARRIER/SHADOW VEHICLES**
1. BARRIER AND SHADOW VEHICLES SHALL BE REQUIRED AS PER STANDARD SHEET TITLED "WORK ZONE TRAFFIC CONTROL LEGENDS AND NOTES".
 2. NO WORK ACTIVITY, EQUIPMENT, VEHICLES AND/OR MATERIALS SHALL BE LOCATED BETWEEN THE BARRIER OR SHADOW VEHICLE AND THE ACTIVE WORK AREA (ROLL AHEAD DISTANCE).
 3. THE CONTRACTOR MAY BE REQUIRED TO PROVIDE A BARRIER VEHICLE IN CONJUNCTION WITH POLICE PRESENCE IN THE WORK ZONE, TO BE INCLUDED IN THE UNIT BID PRICE FOR BASIC WORK ZONE TRAFFIC CONTROL.
- SIGNS**
1. THE LOCATIONS OF THE SIGNS SHOWN ON THE WORK ZONE TRAFFIC CONTROL PLANS AND DETAILS MAY BE ADJUSTED BASED ON SIGHT DISTANCE AND OTHER CONSIDERATIONS. THE FINAL LOCATIONS OF SIGNS ARE SUBJECT TO APPROVAL OF THE ENGINEER.
 2. ANY EXISTING SIGNS, INCLUDING OVERHEAD SIGNS, WHICH CONFLICT WITH THE TEMPORARY TRAFFIC CONTROL SIGN LAYOUT SHALL BE COVERED, REMOVED, STORED OR RESET, AS APPROVED BY THE ENGINEER. ALL APPROPRIATE EXISTING SIGNS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AND/OR LOCATION UNLESS OTHERWISE REPLACED IN THIS CONTRACT.
 3. SIGNS AT OR NEAR INTERSECTIONS SHALL BE PLACED SO THAT THEY DO NOT OBSTRUCT A MOTORIST'S LINE OF SIGHT.
 4. ALL WARNING AND REGULATORY SIGNS SHALL BE POSTED ON BOTH SIDES OF MULTI-LANE DIVIDED HIGHWAYS, MULTI-LANE RAMP, AND ONE-WAY STREETS, IN CASES WHERE LANE RESTRICTIONS REDUCE THE TRAVEL LANE TO ONE LANE, SIGNS SHALL BE POSTED ON THE RIGHT SIDE OF THE ACTIVE TRAVEL LANE, UNLESS OTHERWISE AUTHORIZED BY THE ENGINEER.
 5. SIGNS MOUNTED ON THE MEDIAN OF DIVIDED HIGHWAYS WHERE MEDIAN BARRIER IS IN PLACE MAY BE MOUNTED ON THE BARRIER WITH A SADDLE TYPE BRACKET. LAYING THE SIGN DOWN IN A HORIZONTAL POSITION IS NOT PERMITTED.
 6. THE DIMENSIONS OF WORK ZONE TRAFFIC CONTROL SIGNS ARE DESCRIBED IN THE MUTCD. ANY CHANGES TO THE DIMENSIONS SHALL BE APPROVED BY THE REGIONAL DIRECTOR OR BY HIS/HER DESIGNEE. NYR9-12 MAY BE USED IN PLACE OF NYR9-11.
- CHANNELIZING DEVICES**
1. WHERE POSSIBLE ALL CHANNELIZING AND GUIDING DEVICES ARE TO BE PLACED SO AS TO PROVIDE A MINIMUM 2' LATERAL CLEARANCE TO THE TRAVELED WAY.
- PUBLIC ACCESS**
1. PROPERTY OWNERS WHOSE DRIVEWAYS WILL BE MADE INACCESSIBLE SHALL BE NOTIFIED BY THE CONTRACTOR AT LEAST 24 HOURS PRIOR TO RESTRICTING USE OF THE DRIVEWAY. FOR MULTIPLE ACCESS PROPERTIES, AT LEAST ONE DRIVEWAY SHALL BE OPEN AT ALL TIMES. ACCESS SHALL BE RESTORED TO ALL DRIVEWAYS AS SOON AS POSSIBLE.
 2. SUITABLE RAMPS SHALL BE INSTALLED TO MAINTAIN SMOOTH TRANSITIONS FROM RESIDENTIAL AND COMMERCIAL DRIVEWAYS TO AND FROM THE WORK AREA.
- LANE CLOSURES**
1. THE CONTRACTOR SHALL LOCATE LANE CLOSURES TO PROVIDE OPTIMUM VISIBILITY, I.E. BEFORE CURVES AND CRESTS, TO THE EXTENT CONDITIONS PERMIT.
 2. THE ENGINEER MAY REQUIRE THAT ALL LANES BE RE-OPENED AT ANY TIME IF THE ROUTE IS NEEDED FOR EMERGENCY PURPOSES. THIS COULD INCLUDE INCIDENTS AT LOCATIONS OUTSIDE THE CONTRACT LIMITS. NO LANE CLOSURES BETWEEN 6:30-9:00 A.M. AND 3:30-6:00 P.M.
- LANE WIDTHS**
1. UNLESS AUTHORIZED BY THE ENGINEER, THE MINIMUM LANE WIDTHS FOR WORK ZONE TRAVEL LANES SHALL BE AS FOLLOWS: FREEWAYS AND/OR EXPRESSWAYS IS 11'. THE MINIMUM LANE WIDTH FOR ALL OTHER TYPES OF ROADWAYS IS 10'.
 2. THE CONTRACTOR SHALL PROVIDE A WRITTEN NOTICE TO THE ENGINEER, A MINIMUM OF 21 CALENDAR DAYS IN ADVANCE OF PERFORMING ANY WORK THAT RESULTS IN THE REDUCED WIDTH OF AN EXISTING ROADWAY, SO THAT THE ENGINEER MAY NOTIFY THE REGIONAL PERMITS ENGINEER IN A TIMELY MANNER.



Client:

MICHAELS ORGANIZATION
3 East Stow Road
Marlton, NJ

PASSERO ASSOCIATES
243 West Mohr Street Suite 100
Rochester, New York 14614
(585) 328-1000
Fax: (585) 325-1481

Principal-in-Charge: Jess D. Sudol, P.E.
Project Manager: Jess D. Sudol, P.E.
Designed by: Tim Harris, P.E.



Revisions		
No.	Date	Description
1		

DETAILS

MICHAELS ORGANIZATION
EAST GENESEE
APARTMENTS

Town/City: SYRACUSE
County: ONONDAGA State: New York

Project No:
20172421.0004

Drawing No. **C 202** Sheet No. **6**

Scale: **1" = 30'**

Date:
DECEMBER 2018

NOT FOR CONSTRUCTION



True North



E GENESEE STREET
SYRACUSE, NY

12/19/2018

EXTERIOR ELEVATIONS







HOUSING

HOUSING

HOUSING

HOUSING

HOUSING

HOUSING

TOWNHOME

HOUSING

TOWNHOME

HOUSING

AMENITY

PARKING

PARKING

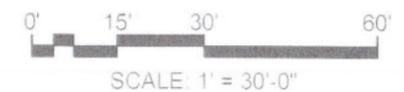
1000
1000
1000

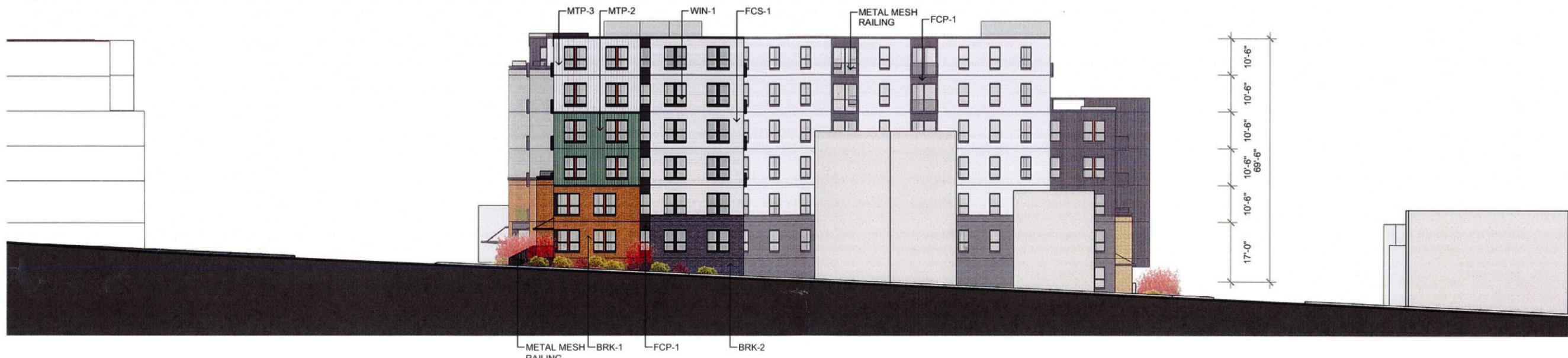
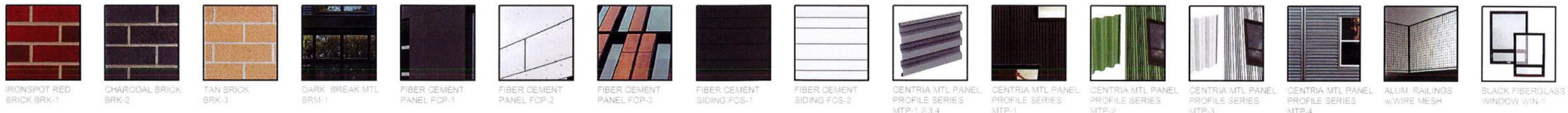


SOUTH ELEVATION - FRONT



NORTH ELEVATION - REAR

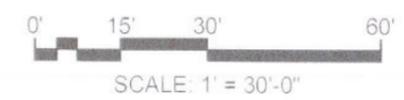




EAST ELEVATION - SIDE

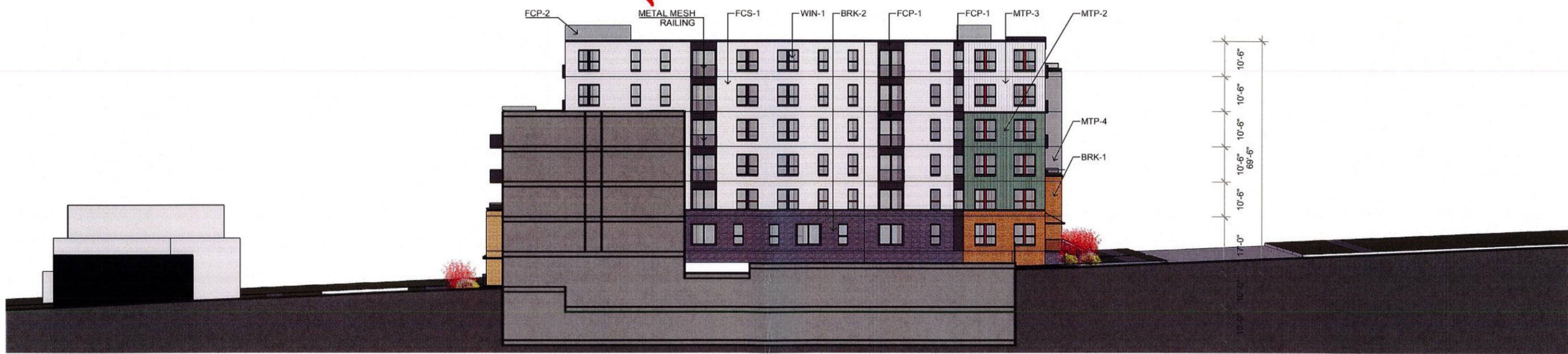
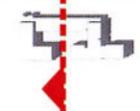


WEST ELEVATION - SIDE

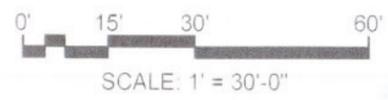


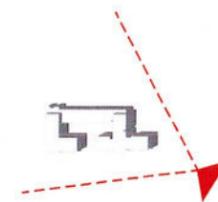


SECTION-ELEVATION 5/NORTH COURTYARD



SECTION-ELEVATION 6/SOUTH COURTYARD



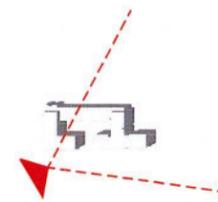


E GENESEE STREET
SYRACUSE, NY
12/19/2018

A5

EXTERIOR VIEWS



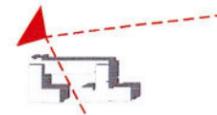


E GENESEE STREET
SYRACUSE, NY
12/19/2018

A6

EXTERIOR VIEWS

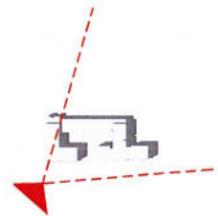




E GENESEE STREET
SYRACUSE, NY
12/19/2018

A7

EXTERIOR VIEWS



E GENESEE STREET
SYRACUSE, NY
12/19/2018

A8

EXTERIOR VIEWS


Michael's
COMMUNITIES THAT lift LIVES


PA


BKV
GROUP

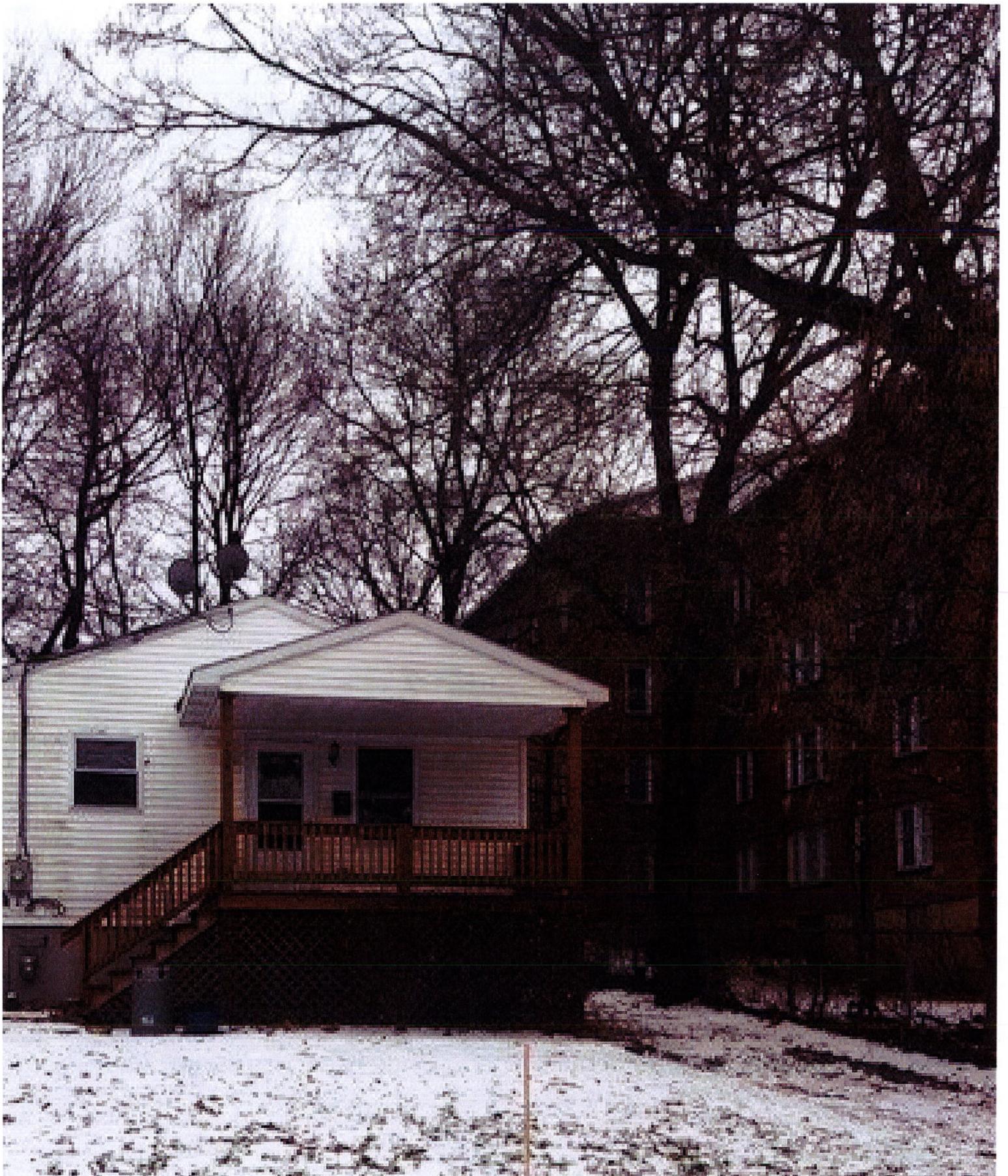
208 Ashworth



212-214
Ashworth



224 Ashworth



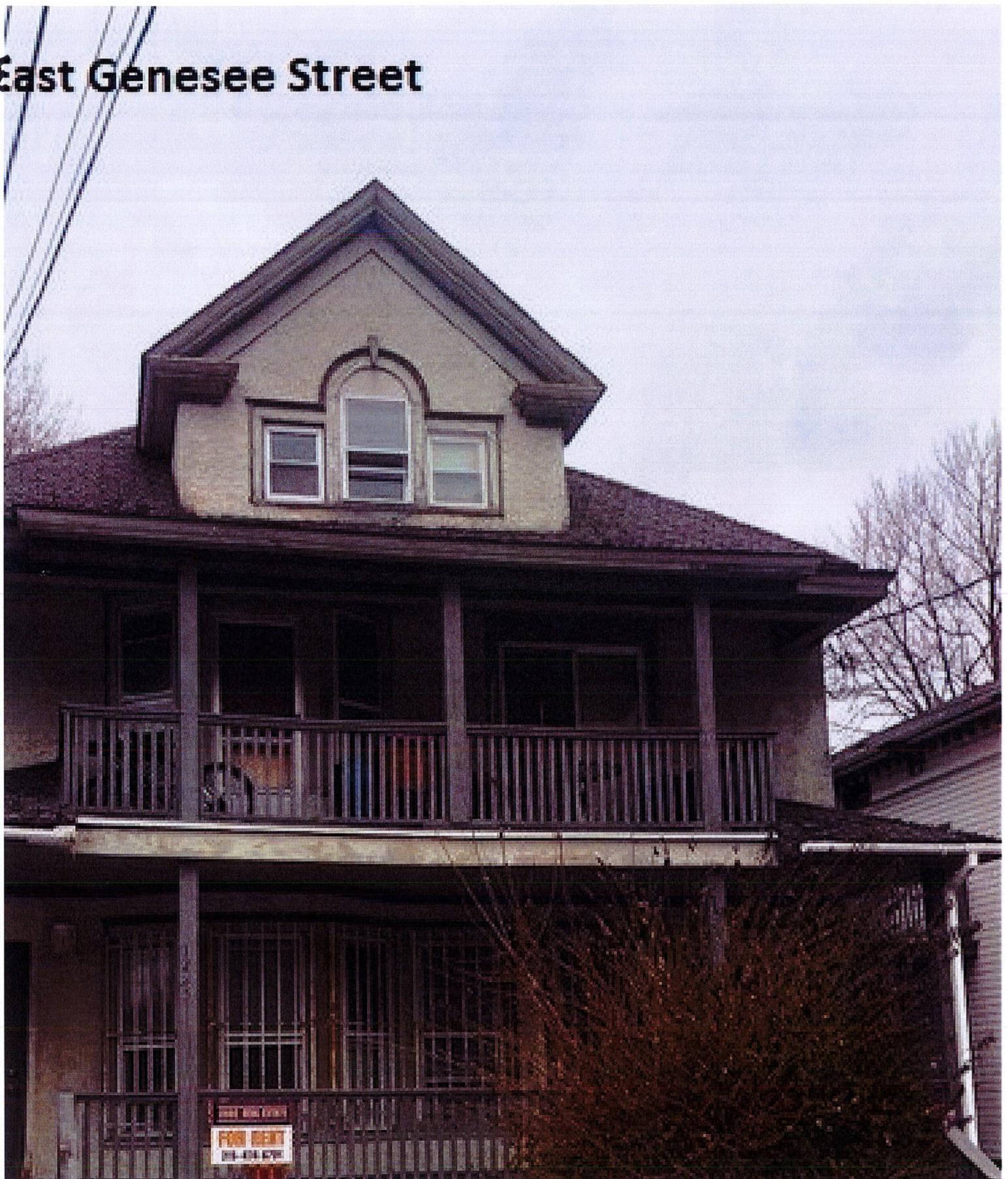
121 E. Genesee

Genesee Street



1225-1227

East Genesee Street



1231 E. Geneva

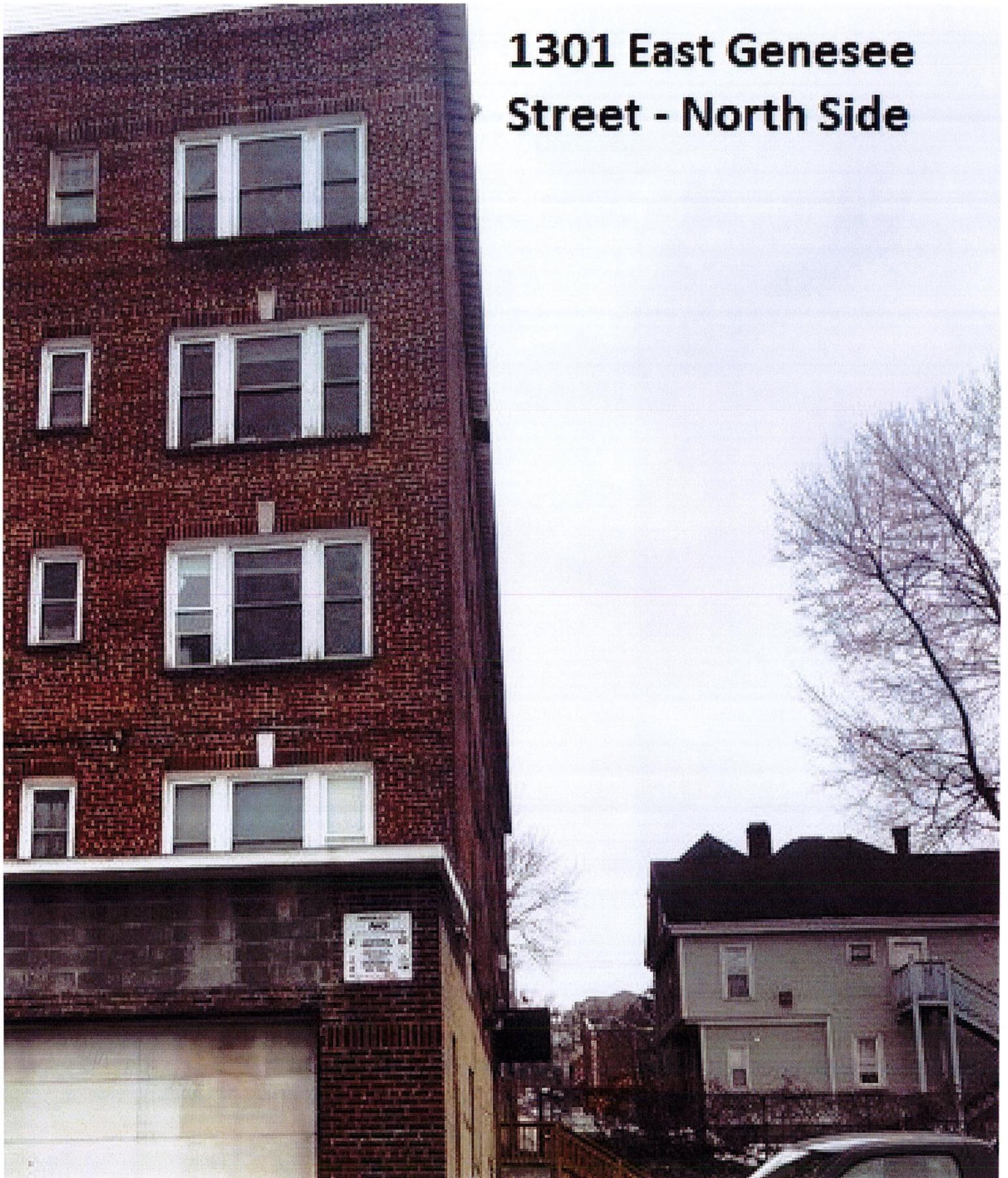


1237 E. Genesee

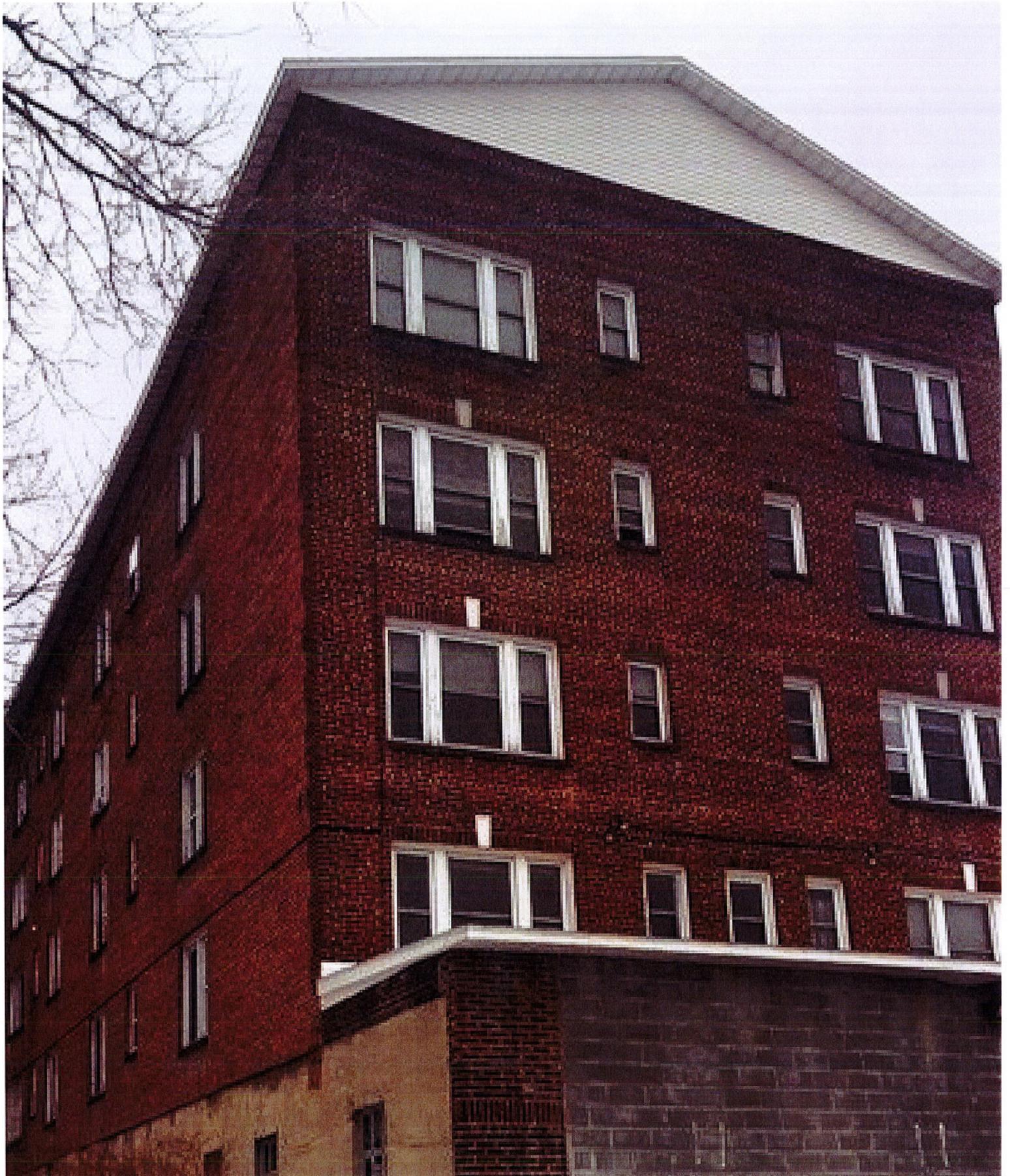
Genesee Street



1301 East Genesee Street - North Side



1301 E. Genesee
North



1301 E. Gene See



131 E. Genesee



1317 East Genesee Street



1323 E. Genesee

nesee



Ashworth #1

North Side



Ashworth Northside
#2

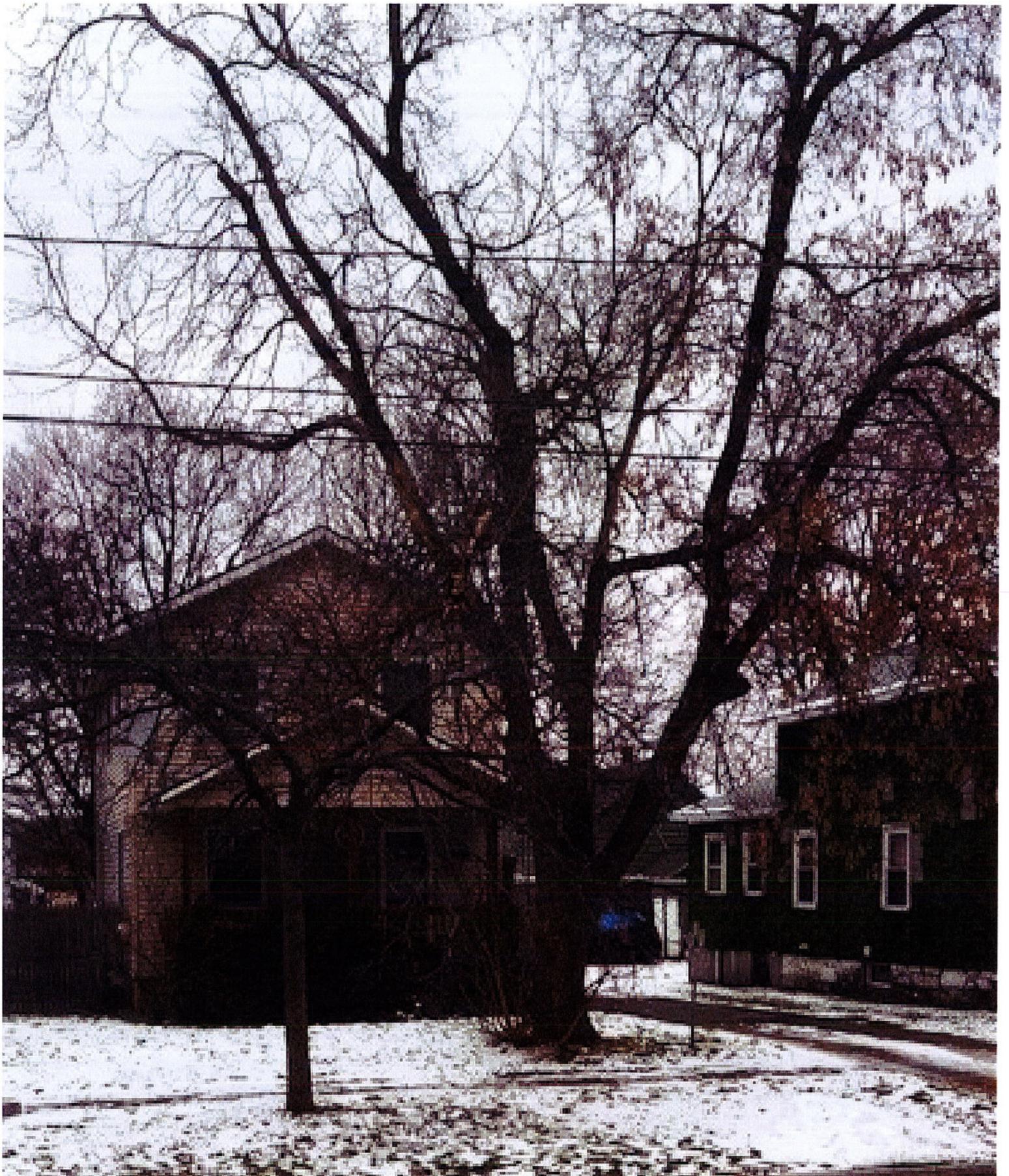
Northside



Ashworth Northside #3



Ashworth Northside #4



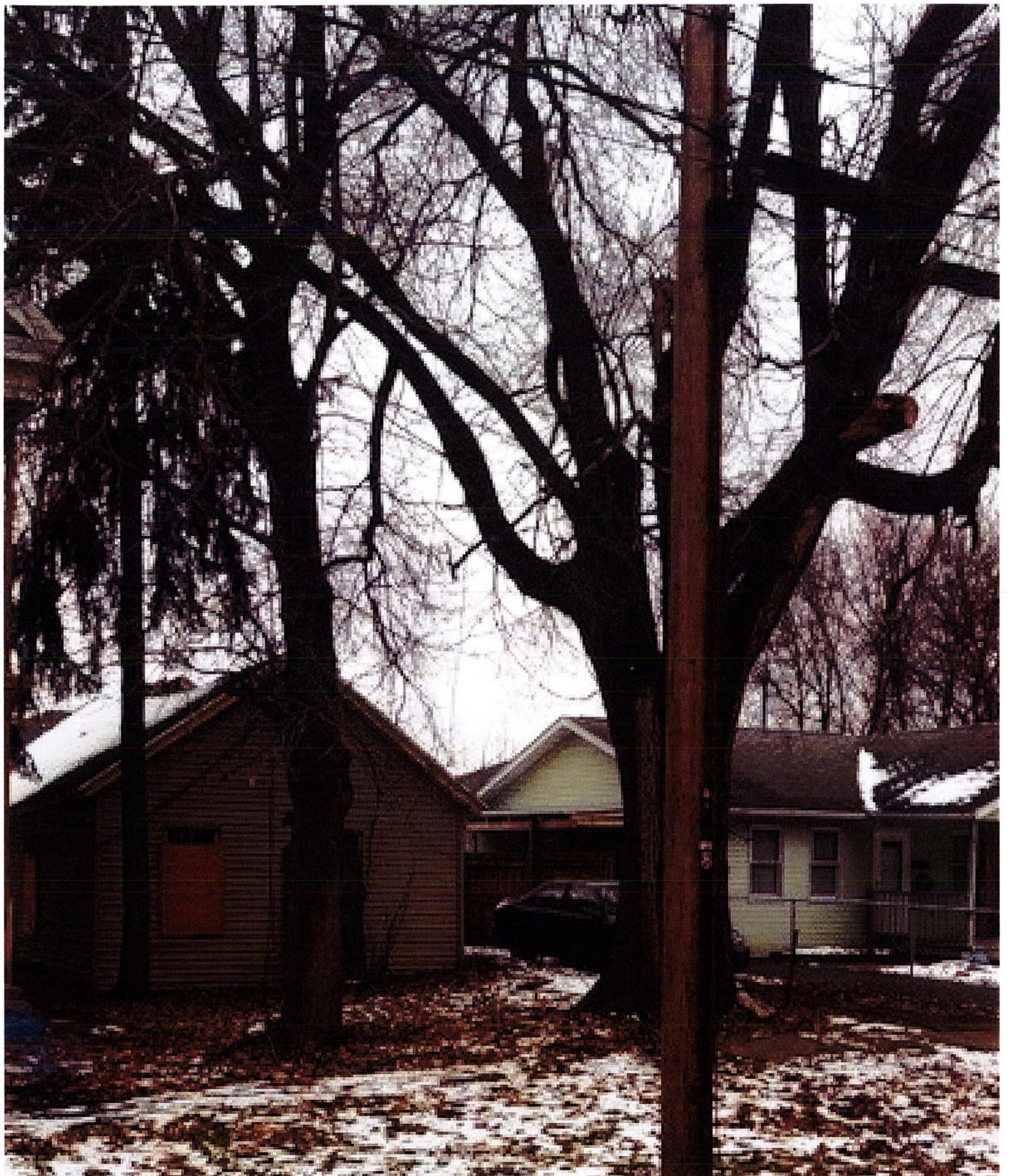
Ashworth Northside # 5



Ashworth #6



Ashworth Northside #7



Ashworth Northside #8



Ashworth

Northside # 9



Ashworth Northside # 10

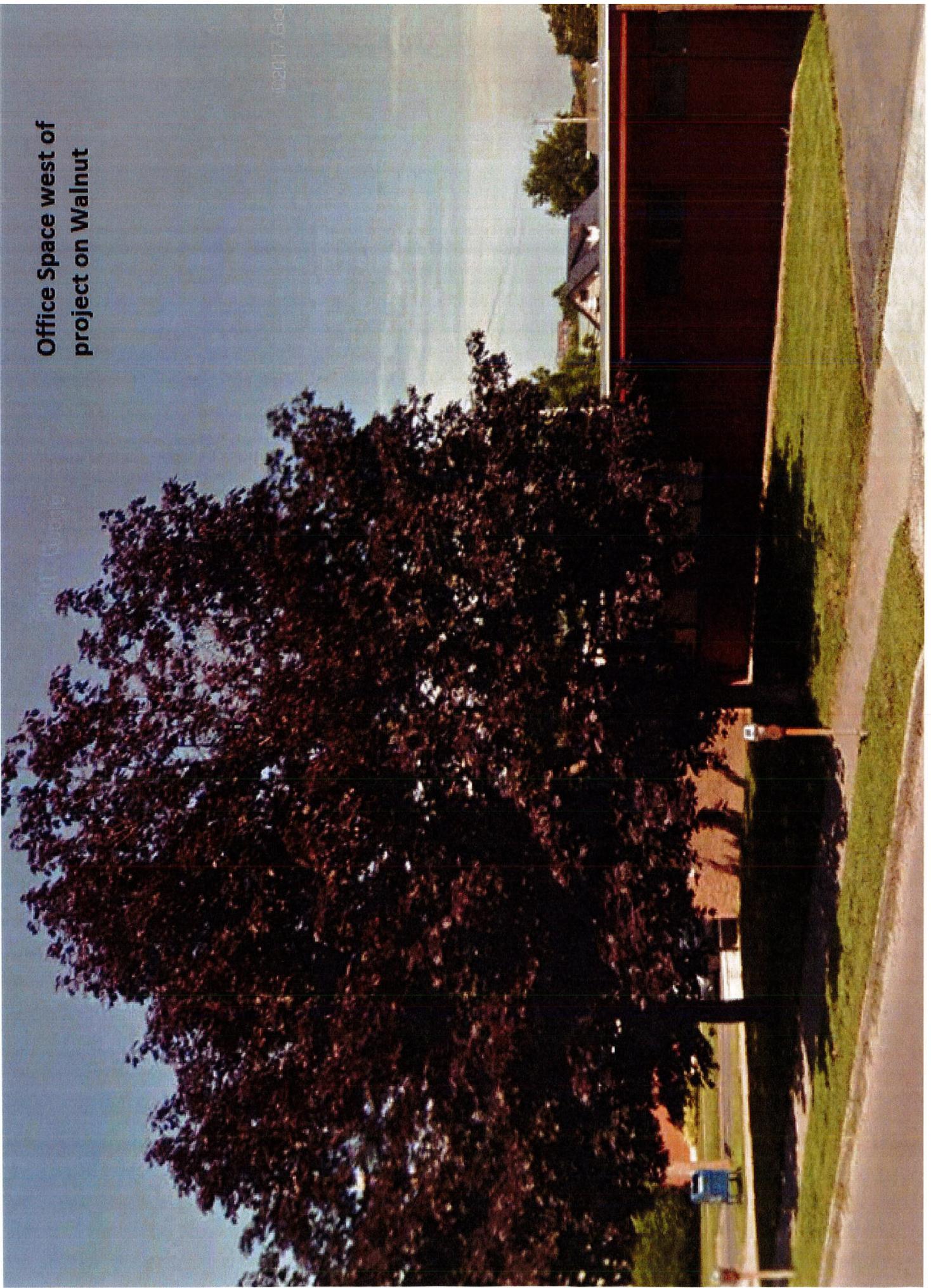


505 Walnut



**Office Space west of
project on Walnut**

10/20/17 6:34



**East side of Pine
Street**

