

PLEASE TYPE OR PRINT (LEGIBLY)

For Office Use Only:	Application Number: V- <u>17-49MI</u>
Tax map Section: <u>099</u> Block: <u>08</u> Lot: <u>040</u>	Zoning District: <u>IA</u>

1. Address of subject property: 200 Geddes Street

2. Year property was purchased by current owner: 2003

3. Applicant/contact information:

a. Owner(s) (current titleholder):

Name(s): Rick Destito, Syracuse Vibrant Spaces

Mailing Address: 200 Geddes Street

Zip: 13202 Daytime phone number: 315 374-6487 home phone number:

E-mail (alternate contact for additional information request): thegearfactorysy@gmail.com

b. Contract purchaser(s) , Lessee , or Co-applicant (if applicable)

***note: Copy of contract to purchase must be included with application if this contract purchaser or lessee applies.**

Name(s):

Mailing Address:

Zip: Home phone number: Day Phone:

E-mail (alternate contact for additional information request):

c. Representative: Attorney , Architect , Contractor , Other
(Only if involved in this application)

Name(s): Anthony Catsimatides

Mailing Address: 4634 Ridge Rd

Zip: 13035 Telephone number: 315 825-5540

4. Current use of property: (i.e., 1 family, 2 family, grocery store, etc.): Residential and commercial

Proposed use and occupancy of property: Residential and commercial

Current number of onsite (off-street) parking spaces: 0

Proposed number of onsite (off-street) parking spaces: 2

Days and hours of operation (for any business uses): 24x7 7 days a week

Explain in detail what (if any) new additions or construction is proposed on the site: all interior remodel

Reason for request:

The courts have distinguished between use variances (for uses which are not permitted) and area variance (for excess lot coverage, additions into required yards, etc.). Be aware that *the standards of proof for a use variance are much more demanding* than for an area variance and that *the burden is on the applicant* to provide such proof in arguing their case. (See Standard of Proof requirements on required submittal page.)

Use additional sheets of paper to present proof if necessary.

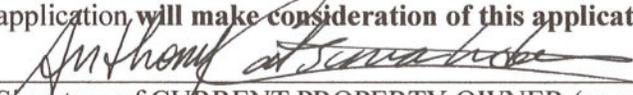
Existing parking on the property is limited to 2 parking spaces.
Converting this building into both commercial and/or residential spaces requires that the owner request a variance to allow for continued improvements of the vacant third floor into 15 commercial office spaces, a lounge and a common area as described on the proposed submittal. In other words, without a variance request for parking, there is no way to meet the current zoning requirements for parking making any proposal of any kind to fill vacant floors of the building impossible, and the alternative would be to leave the building vacant. This is a modification of a variance for parking from previous approved permits for the other floors in the building.

The following affirmation must be signed and dated by the CURRENT PROPERTY OWNER or the owner's LEGAL representative (attorney, power of attorney, partner in the business, etc.).

DECLARATION

I understand that false statements made herein are **punishable as a Class A Misdemeanor, pursuant to section 210.45 of the Penal Law of the State of New York**. I declare that, subject to the penalties of perjury, any statements made on this application and any attachments are the truth and to the best of my knowledge correct.

I also understand that any false statements and/or attachments presented knowingly in connection with this application **will make consideration of this application null and void**.


Signature of CURRENT PROPERTY OWNER (or owner's LEGAL representative) 9/30/2019
Date

Anthony Catsimatides
Printed or typed name of person whose signature is above (if legal representative, also state relationship to owner).

CITY HALL COMMONS, ROOM 101
201 EAST WASHINGTON STREET
SYRACUSE, NY 13202
(315) 448-8640

Board of Zoning Appeals application Procedures

Variance applications involve public hearings with the Board of Zoning Appeals. A variance application will not be considered complete on the applicant's part until all required submittals have been received and have been through a preliminary review by Zoning Office staff (and possibly other departments), including an evaluation of the application under the New York State Environmental Quality Review Act (SEQR).

Once an application has been determined to be ready for a public hearing with the Board of Zoning Appeals, it will be scheduled for the **next available** hearing date (allowing the necessary time from for the Board's authorization, newspaper publication, mailing schedules, etc.). A "Public Notice" regarding the hearing date will then be mailed to the applicant (and representative, if any), approximately ten (10) days prior to the hearing date.

The public notice is also published in the Syracuse Post Standard newspaper ten (10) days prior to the hearing date. Public notices are also sent to property owners contiguous to any property subject to a public hearing, and to other city departments and neighborhood organizations.

The application, and its contents, will then be open for inspection at the Syracuse Office of Zoning Administration during regular office hours.

Unless otherwise notified, all meetings at which public hearings are to be held will begin at 1:00 p.m. in the Common Council Chambers on the third floor of City Hall.

The applicant or his or her representative **must attend** the public hearing to explain the case request to the Board of Zoning Appeals. (The rules of the Board of Zoning Appeals **do not permit postponements** due to the absences of applicants or their representatives.) A variance decision is not final until a written resolution is adopted by the Board of Zoning Appeals and filed with the secretary to the Board. Depending upon the situation, the resolution may possibly not be adopted until a later meeting. A copy of the resolution will be mailed to the applicant.

Depending upon the type and complexity of the application, additional necessary reviews, and the hearing schedule, the entire variance application process from the submission of the application to the release of the resolution may take approximately two months.

Please sign that you have read and understand the above information and return this page with the application.

Signed:



Date: 9/30/2019

This application may be mailed or delivered in person to the Syracuse Office of Zoning Administration, located in Room 101 at City Hall Commons, 201 East Washington Street, Syracuse, NY 13202-1426. If you wish to discuss the application with a member of our staff, please call ahead for an appointment (448-8640).

DENIAL OF PERMIT

REFERENCE ADDRESS 200-06 GEDDES ST. S.

WARD NO. _____

OWNER Vibrant Syracuse Spaces

OWNER'S ADDRESS 721 OTISCO ST.

Contact Anthony CATINATOES . 1315.825.5540 TELEPHONE _____

APPLICATION FOR PERMIT TO:

erect () convert (x) maintain () operate ()

inadequate parking

DENIED UNDER ARTICLE (s) _____

of the zoning ordinance for the following reasons: _____

PLANS ATTACHED, APPROVED BY _____
ON _____

SURVEY ATTACHED

ZONING REVIEWED BY _____

LOCATION OF REFERENCE ADDRESS:
ASSESSOR'S ATLAS

BOOK (S) NO. _____

PLATE (S) NO. _____

PARCEL (S) NO. _____

DATE October 08, 2019 SIGNATURE _____



617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information							
Name of Action or Project: Gear Factory 3rd Floor Build Out							
Project Location (describe, and attach a location map): 200 Geddes Street, Syracuse, NY 13202							
Brief Description of Proposed Action: Interior Build Out of vacant 3rd Floor to include 15 new offices and new bathrooms, B Occupancy							
Name of Applicant or Sponsor: Rick Destito		Telephone: (315) 374-6487 E-Mail: thegearfactorysyr@gmail.com					
Address: 200 Geddes Street							
City/PO: Syracuse		State: NY	Zip Code: 13202				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 50%; text-align: center;">NO</th> <th style="width: 50%; text-align: center;">YES</th> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 50%; text-align: center;">NO</th> <th style="width: 50%; text-align: center;">YES</th> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
3.a. Total acreage of the site of the proposed action? _____ 0.336 acres b. Total acreage to be physically disturbed? _____ 0 acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 0.336 acres							
4. Check all land uses that occur on, adjoining and near the proposed action. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland							

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Rick Destito</u>		Date: <u>5/30/2019</u>
Signature: _____		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

PRINT

Gear Factory: Renovations to 4th and 5th floors

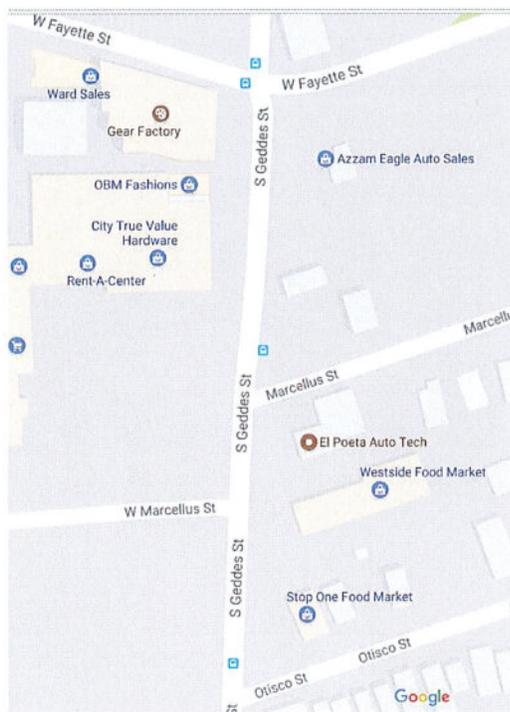
200 South Geddes Street, Syracuse, NY 13204

Zoning use summary - Boarding House and Transit-Oriented Development

7 September, 2017

The Gear Factory building, a 1906 Albert Khan designed daylight factory, is being re-purposed by Owner Rick Destito as a mixed-use Art / Music Studio and Residential venue. The Art / Music Studio space already occupies the Basement and First Floors developed in a previous project. This new project proposes to fit out the 4th and 5th floors with 30 total for-rent sleeping units that include common kitchen / bathing facilities. The target market is young adults who are starting out in life, can't afford larger apartments, may have student loan debt, generally don't own a lot of material goods and who use contemporary means of transportation like Uber, Lyft, Zipcars, mass-transit, bicycles and/or walking.

Zoning and Building code would consider this use a **Boarding House** as it will have more than 16 units per the NYS Building Code description (310.4 Residential Group R-2).



The Zoning for this property is per Part B, Section VI, Industrial District Class A. Residential uses are permitted. Parking required for Boarding Houses per Part C, Section III is 1 space per each boarder.

Given the proximity to mass-transit and amenities, we propose this project be considered a **transit-oriented development** (TOD). There are 4 bus stop locations on South Geddes all near the Gear Factory. Basic services such as Grocery shopping, Hardware store, restaurants and laundromat are also within a 5 minute walk.

We propose that the parking requirement be modified as one of two scenarios, per the Transportation Demand Management (TDM) shared parking standards (also based on Urban Land Institute recommendations). Under the shared parking considerations, the current commercial use of the Studio space and the new residential use proposed for the 4th and 5th floors would have complimentary timed usages (TDM chart below).

Table 3 Parking Occupancy Rates

Uses	M-F	M-F	M-F	Sat. & Sun.	Sat. & Sun.	Sat. & Sun.
	8am-5pm	6pm-12am	12am-6am	8am-5pm	6pm-12am	12am-6am
Residential	60%	100%	100%	80%	100%	100%
Office/ Warehouse / Industrial	100%	20%	5%	5%	5%	5%
Commercial	90%	80%	5%	100%	70%	5%
Hotel	70%	100%	100%	70%	100%	100%
Restaurant	70%	100%	10%	70%	100%	20%
Movie Theater	40%	80%	10%	80%	100%	10%
Entertainment	40%	100%	10%	80%	100%	50%
Conference/Convention	100%	100%	5%	100%	100%	5%
Institutional (non-church)	100%	20%	5%	10%	10%	5%
Institutional (church)	10%	5%	5%	100%	50%	5%

This table defines the percent of the basic minimum needed during each time period for shared parking. (M-F = Monday to Friday)

Residential use parks under capacity (60%) by day while Commercial use is at 90%. At night it reverses to 80% Residential and about %5 for the Commercial. The overlap at 6 pm is the Residential peak and shows a diminishing use capacity for Commercial at 80%. The **site currently has 27 parking spaces**, 7 of which were dedicated to the Business use on the bottom 2 floors in a previous project. That would leave 19 spaces to park the new residential use. Most of these residents won't have cars and will typically use newer forms of transit like Uber and Lyft, as well as more traditional means like the bus, bicycle and walking. The TDM shared use scenario could take the 7 commercial spaces and apply those to the residential peak at night, fully utilizing the existing 26 spaces if car ownership were maximized. The transit-oriented development could mitigate the balance of the remaining 4 spaces as residents using mass-transit use, bicycle or walking. Another scenario would use the chart capacities to say the residential use would be 60% of the 30 required by day, again if maximum car ownership is assumed. That would be 18 parking spaces needed by day. Taking the shared use at night puts the capacity back up to 26 spaces with commercial use not utilizing the spaces there. 4 remaining spaces would be per the TOD consideration. In either scenario, the **parking that is on site should be sufficient for the combined uses at the Gear Factory** even assuming robust car ownership. Bike storage on premises would be available.

As a Boarding House, this would be operated and maintained by Vibrant Syracuse Spaces, LLC owned by Rick Destito. The rooms would be rented for profit. Basic facilities required as living space, cooking and bathing would be provided and maintained by the LLC.



October 07, 2019

City of Syracuse
Permit Office
City Hall commons
201 East Washington St.
Syracuse, NY 13202

Re: 200 Geddes Street 3rd Floor Permit Submittal
Zoning Standards of Proof to address parking deficiency

Standards of Proof for Area Variance (for parking variance modification):

- a. whether the benefit sought by the applicant can be achieved by some method which will be feasible for the applicant to pursue but would not require a variance;

This building was built in the early 1900's and had been sitting vacant for many years till the present owner, Rick Destito of Syracuse Vibrant Spaces purchased the building in the early 2000's and began renovating it. There are 5 floors plus a lower level. The lower level, 1st, 2nd, 4th & 5th floors have all been renovated to some extent, and filled with commercial and residential spaces. Because the building has a foot print of roughly 11,895 square feet, and the entire lot size is 14,644, with an easement that takes up over 800 square feet of the lot and the required vehicle maneuvering area, zoning has determined that the maximum number of vehicle parking on site would be limited to only 2 parking spaces.

Mr. Destito has purchased and has been working with the city on a parking lot across the street which can fit 27 parking spaces for use by this building. With the included onsite parking and the parking lot across the street, 29 total parking spaces are still not sufficient to address the current zoning parking requirements to address the building's full potential capacity.

- b. whether the requested area variance is substantial;

The proposed 3rd floor submittal is for 15 co-working spaces, while the lower level is 18 music rehearsal studios, the 1st and 2nd floors are business of different types, and the 4th and 5th floors are co-habitation residential spaces. Most of the tenants are younger mobile and transient in nature and most walk, bicycle or take public transportation to the building. It



was determined in the previous permits that traffic to and from the building would not pose any issues. The same is anticipated on this proposal as well.

- c. whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district;

No adverse effects of any kind are anticipated as each floor's use varies and the parking across the street associated with this building is hardly full any time of day as it is. It is anticipated that due to the present demographics of younger mobile individuals that have low automobile use will continue into the future with this build out as even though the 3rd floor layout is strictly for business use, it will be used by younger up and coming businesses for shorter periods of time than a typical long term lease building, and thus it is also anticipated that the occupants will use public transportation and alternative means of transport.

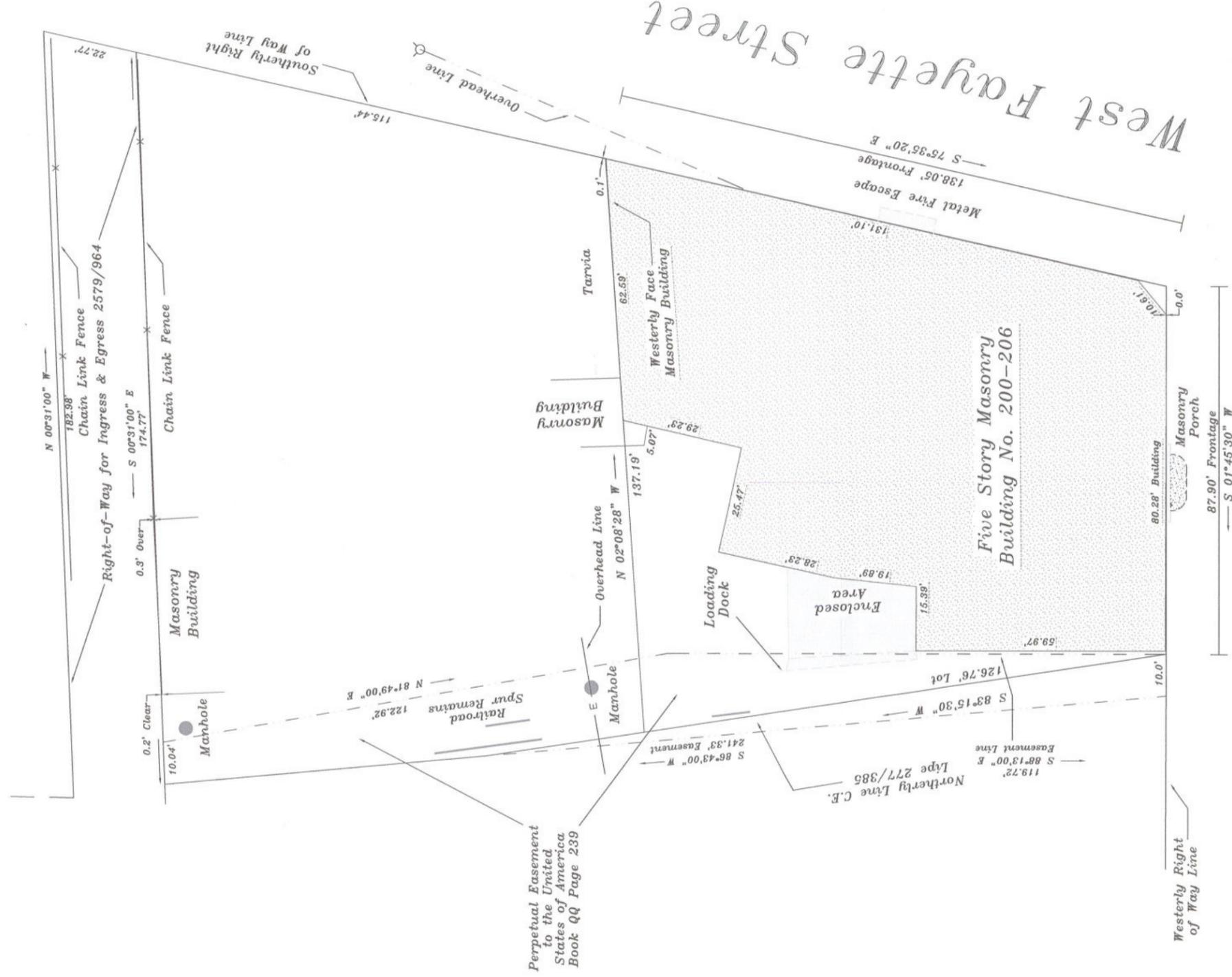
- d. whether an alleged difficulty is self-created.

The building size and shape, and the lot size were established in the early 1900's and since the building was in good shape and ready for remodeling, this is the least impact in creating a vibrant community oriented facility that will bring new living and commercial life to an otherwise underutilized area of the city.

Very truly yours,



Anthony M. Catsimatides, AIA
Architect



South Geddes Street

*Survey prepared with Abstract of Title prepared by Allied American Abstract Corp. dated 4/9/2015, #053882.

<p>Michael J. McCully Land Surveying PLLC 5875 Fieldstone Drive Cazenovia New York 13035 Phone : (315) 440-5096</p>	<p>Location Survey on Part of Farm Lots 260 & 261 of the Late Onondaga Salt Springs Reservation.</p> <p>Known as No. 200-206 South Geddes Street, City of Syracuse, County of Onondaga, State of New York.</p> <p>Drawn by: MJM Scale: 1" = 30' Date(s): 06-29-15</p>
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I hereby certify that this map was made from an actual survey and same is correct.

M.J. McCully NYSLS 50696

Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law. Only copies from the original of this survey marked with an original of the land surveyor's inked seal or his embossed seal shall be considered to be valid true copies. Certifications shall run only to the person or entities for whom the survey is prepared and are not transferable to subsequent persons or entities. Copyright 2015, Michael J. McCully Land Surveying, all rights reserved.



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3RD FLOOR RENOVATIONS FOR THE GEAR FACTORY
200 GEDDES STREET
SYRACUSE, NY 13204

DATE: JANUARY 28, 2019 ISSUED FOR PERMIT
REVISIONS: MAY 28, 2019 - ADDED PARKING
SEPTEMBER 7, 2019 PARKING COUNT MODIFICATION

COVER SHEET
BUILDING CODE ANALYSIS

SCALE: AS NOTED
PROJECT NO: 2017-16
DRAWN BY: AMH
CHECKED BY: AMIC

A0.0
OF

PROJECT



3RD FLOOR RENOVATIONS FOR CO-WORK FACILITY

PROJECT TEAM

OWNER	ARCHITECT
VIBRANT SYRACUSE SPACES 200 SOUTH GEDDES STREET SYRACUSE, NY 13204 (315) 374-6487 (phone) CONTACT: RICHARD DESTITO EMAIL: thegearfactorysy@gmail.com	OPEN ATELIER ARCHITECTURE, PLANNING & DESIGN 451 SOUTH WARREN STREET SYRACUSE, NY 13202 (315) 200-1560 (phone) CONTACT: ANTHONY CATSIMATIDES, A.I.A. EMAIL: amc@openatelier.com

- GENERAL NOTES**
- IT IS INCUMBENT UPON THE G.C. AND ALL OF HIS/HER SUBCONTRACTORS TO VISUALLY SURVEY AND MEASURE THE SITE TO VERIFY THAT THE SPACE AS DESIGNED CAN BE ACCOMMODATED. PRIOR TO ANY CONSTRUCTION, THE G.C. SHALL CHALK LINE THE ENTIRE PREMISES, REVIEW ALL EXISTING CONDITIONS, INCLUDING BUILDING SYSTEMS AND STRUCTURES SCHEDULED TO REMAIN OR OWNER SYSTEMS WHICH PASS THROUGH THE PROJECT SPACE, FOR NON-INTERFERENCE WITH PROPOSED DESIGN AS INDICATED ON THESE DOCUMENTS. ANY DISCREPANCIES, CONFLICTS OR OMISSIONS SHALL BE REPORTED TO THE ARCHITECT AND OWNER IMMEDIATELY TO ALLOW FOR A CLARIFICATION DOCUMENT TO BE ISSUED PRIOR TO PERFORMANCE OF ANY WORK IN QUESTION. FAILURE TO COMPLY SHALL MAKE THE G.C. LIABLE FOR ALL COSTS AND/OR CORRECTIONS TO ACCOMMODATE DESIGN INDICATED WITHIN THESE DOCUMENTS.
 - ANY DISCREPANCIES BETWEEN PLAN SHEET AND/OR PROFESSIONAL DISCIPLINES SHALL BE REPORTED TO THE OWNER AND ARCHITECT AFTER A THOROUGH REVIEW OF THE CONSTRUCTION SET PRIOR TO THE START OF CONSTRUCTION. ALL CONTRACTORS, AND SUBCONTRACTORS SHALL REVIEW A FULL SET OF PLANS TO DETERMINE THEIR SCOPE OF WORK AND SHALL REPORT ANY INCONSISTENCIES TO THE OWNER AND ARCHITECT PRIOR TO THE START OF CONSTRUCTION. NO EXCEPTIONS WILL BE TAKEN. ALL QUESTIONS REGARDING THE CONSTRUCTION SET AND SPECIFICATIONS SHALL BE SUBMITTED TO THE OWNER AND ARCHITECT OF RECORD IN THE FORM OF A WRITTEN REQUEST FOR INFORMATION TO CLARIFY THE INTENT OF THE DRAWINGS.
 - WHEN THE CONTRACTOR ACCEPTS DELIVERY OF ALL ITEMS NOTED ON PLANS WHETHER IN CONTRACT OR NOT IN CONTRACT, HE/SHE SHALL BE RESPONSIBLE FOR LOSS AND/OR DAMAGE TO THESE ITEMS.
 - THE CONTRACTOR SHALL MAINTAIN, FOR THE ENTIRE DURATION OF THE WORK, ALL EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES AND ALARMS IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
 - ALL SAW CUTTING AND/OR CORING LOCATIONS SHALL BE APPROVED AND COORDINATED WITH THE OWNER PRIOR TO CUTTING/CORING.
 - DURING ALL PHASES OF WORK, DO NOT DISTURB THE DELIVERIES AND FUNCTIONS OF ADJACENT NEIGHBORS.
 - "TYP." SHOULD MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED, DETAILS ARE USUALLY KEYED AND NOTED "TYP" ONLY ONCE WHEN THEY FIRST OCCUR.
 - "SIM" SHALL MEAN COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.
 - REMOVE ALL EXISTING CONSTRUCTION WHICH INTERFERES WITH THE WORK SHOWN ON THESE DRAWINGS. PATCH THE SUBFLOOR TO A UNIFORM LEVEL AS REQUIRED TO ACCOMMODATE THE NEW FLOORING. VERIFY NEW FLOOR SLOPE AND REPORT ANY DISCREPANCIES TO THE OWNER AND ARCHITECT.
 - ALL WORK SHALL CONFORM WITH THE LATEST ADA GUIDELINES & ANSI A 117.1 2009.
 - PROVIDE PORTABLE FIRE EXTINGUISHER(S) WITH U.L. LABEL AND A RATING OF NOT LESS THAN 3A 40BC WITH 75 FT. TRAVEL DISTANCE TO ALL POSITIONS OF AREA OF WORK OR AS DIRECTED BY THE FIRE DEPARTMENT FIELD INSPECTOR.
 - THE ENTIRE BUILDING ENVELOPE AND ALL PIPES SHALL BE PROPERLY THERMALLY INSULATED IN CONFORMANCE WITH THE NATIONAL, STATE, AND LOCAL ENERGY CODES.
 - ALL METHODS & MATERIALS INCLUDING CONSTRUCTION COMPLY WITH ALL GENERALLY ACCEPTED STANDARDS INCLUDING PROPER DRAINAGE, FLASHING, SEALING AND CAULKING OF THE BUILDING NECESSARY TO PREVENT MOISTURE PENETRATION TO THE INTERIOR FROM THE OUTSIDE SURFACE OF ALL ENVELOPE COMPONENTS.
 - ALL TRADES SHALL BE RESPONSIBLE FOR COORDINATION WITH GC AND GIVING OWNER START/COMPLETION DATES.
 - ALL ELECTRICAL SERVICE SHALL MEET THE REQUIREMENTS OF ALL APPLICABLE CODES INCLUDING NFPA 70.

CODE ANALYSIS

PROJECT TYPE: INTERIOR RENOVATION / FIT-OUT OF 3RD FLOOR ONLY

BUILDING CODES: NYS BUILDING CODE 2015 (BCNYS)
NYS EXISTING BUILDING CODE 2015 (EBCNYS)
FIRE CODE OF NYS 2015
PLUMBING, MECHANICAL & FUEL GAS CODE OF NYS 2015
ELECTRICAL CODE OF NYS 2015
ENERGY CONSERVATION CODE OF NYS 2015
2009 ANSI 117.1 BARRIER FREE CODE

EXISTING OCCUPANCY TYPE: B BUSINESS AT BASEMENT AND 1ST FLOOR (PREVIOUSLY APPROVED)
B AT 1ST FLOOR (PREVIOUSLY APPROVED)
R-2 RESIDENTIAL AT 4TH - 5TH FLOORS (PREVIOUSLY APPROVED)
F-1 AT 3RD FLOOR (THIS SUBMITTAL)

PROPOSED OCCUPANCY TYPE: B BUSINESS AT 3RD FLOOR

CONSTRUCTION TYPE (602.3): II-B NONCOMBUSTIBLE UNPROTECTED - (SPRINKLERED)

BUILDING HEIGHT: EXISTING 75' (TABLE 504.3) PROPOSED: NO CHANGE
NUMBER OF STORIES: EXISTING = 5 STORIES PROPOSED: NO CHANGE
AREA PER FLOOR: EXISTING (BSM/1ST FL = 9,368 SF, 2ND FL = 9,612 SF, 3RD - 5TH FL = 9,368 SF) PROPOSED: NO CHANGE
AREA TOTAL ALL FLOORS: EXISTING = 37,368 SF PROPOSED: NO CHANGE

CHANGE OF OCCUPANCY WITH SEPARATION OF USES (PER EBCNY 1012.1.1)
SEPARATION OF USES (PER TABLE 508.4 BCNYS) 1 HOUR, EXISTING CONSTRUCTION

FIRE PROTECTION:
FIRE SPRINKLER SYSTEM (PER CHAPTER 9, BCNYS): EXISTING TO BE MODIFIED (PER NFPA 13 AND PER BCNYS, TABLE 903.3)
MANUAL FIRE ALARM SYSTEM PER 907.2.9.1 BCNYS
SMOKE ALARMS PER 907.2.9.2 (907.2.11) BCNYS

MEANS OF EGRESS HAZARD CATEGORIES: (PER EBCNYS TABLE 1012.4, COMPLY WITH CHAPTER 10, BCNYS):
EXISTING HAZARD: 4
PROPOSED HAZARD: 4
NO CHANGE

HEIGHTS AND AREAS HAZARD CATEGORIES: (PER EBCNYS TABLE 1012.5, COMPLY WITH CHAPTER 5, BCNYS):
EXISTING HAZARD: 4
PROPOSED HAZARD: 4
CHANGE FROM HIGHER TO LOWER HAZARD

HEIGHT AND AREA OF EXISTING BUILDING: (PER EBCNYS 1012.5.1): LIMIT TO 5 STORIES, PROPOSED USE ON 3RD FL ONLY
EXPOSURE OF EXTERIOR WALLS HAZARD CATEGORIES (PER EBCNYS TABLE 1012.4)
EXISTING EXTERIOR WALLS TO REMAIN AS IS

PARKING REQUIREMENTS FOR 3RD FLOOR BUILD OUT - B BUSINESS OCCUPANCY

PER ZONING FOR 3RD FL BUILDOUT - 1 SPACE PER 500 SQUARE FEET OF NET OFFICE AREA:
- 5,601 S.F. OF OFFICE / 500 = 11 ADDITIONAL SPACES REQUIRED FOR 3RD FLOOR BUILDOUT
- 2 SPACES PROVIDED ON SITE, PLUS 27 SPACE PROVIDED ACROSS THE STREET = 29 TOTAL

OCCUPANT LOAD (PER TABLE 1004.1.2): B @ 1 PER 100 GSF = 9,368 S.F. / 100 = 94 OCCUPANTS ON 3RD FLOOR

STAIRWAY EXIT CAPACITY (PER 1005.3.2 EXCEPTION 1):
TOTAL REQUIRED EXIT WIDTH = 94 x 0.2 = 18.8" (72" MIN PER 1011.2, EXC. 1)
TOTAL PROVIDED EXIT WIDTH = 92"
TOTAL REQUIRED EXITS = 2
TOTAL PROVIDED EXITS = 2

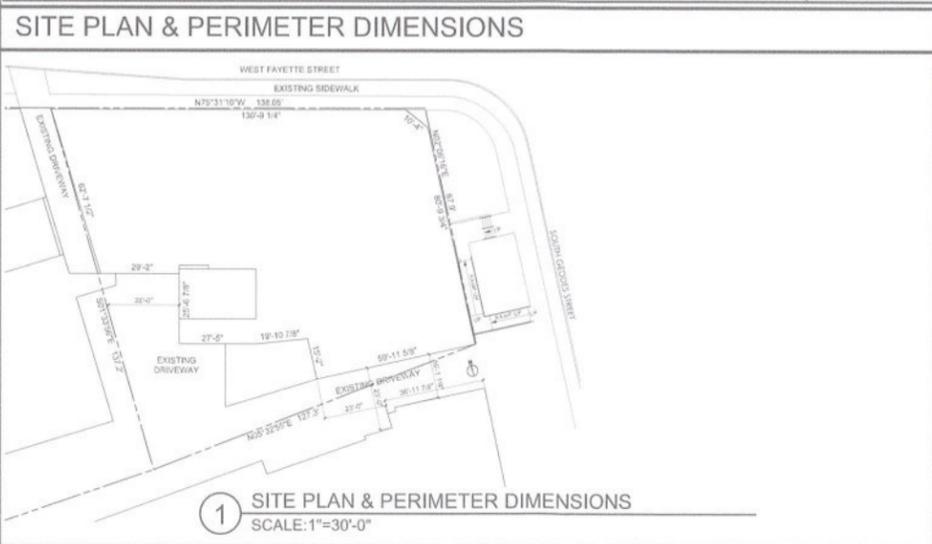
MAX TRAVEL DISTANCE (PER TABLE 1017.2): TOTAL ALLOWED = 300'

CORRIDOR WIDTH (PER TABLE 1020.2):
REQUIRED WIDTH = 44"
MINIMUM PROVIDED WIDTH = 44"

INTERIOR WALL AND CEILING FINISHES (PER 803.1.1):
INTERIOR EXIT STAIRWAYS AND RAMPS & EXIT PASSAGEWAYS: TYPE B
CORRIDORS & ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND RAMPS: TYPE C
ROOMS AND ENCLOSED SPACES: TYPE C
ALL AREAS: CLASS II, MIN.

INTERIOR FLOOR FINISH (PER 804.4):

CONSTRUCTION RQ'MTS	STRUCTURE OR ELEMENT	HR RATING
FIRE RESISTIVE RATINGS PER TABLE 601 & 602	STRUCTURAL FRAME	0 HR
	EXTERIOR LOAD BEARING WALLS	0 HR
TYPE IIB CONSTRUCTION	INTERIOR LOAD BEARING WALLS	0 HR
WHEN APPLYING FOR A FIRE ALARM PERMIT, SMOKE DETECTORS ARE TO BE PROVIDED THROUGHOUT AREAS TO BE REMODELED FOR TOTAL COVERAGE.	INT & EXT NON-LOAD BEARING WALLS	0 HR
FIRE SEPARATIONS REQUIRED	FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0 HR
	ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0 HR
	CORRIDOR SEPARATION (TABLE 1020.1)	0 HR



SYMBOLS LEGEND

	SECTION ELEVATION MARKER		SURFACE MOUNTED LIGHT FIXTURE
	DIRECTION MARKER		ILLUMINATED EXIT SIGN
	NEW CONSTRUCTION		NEW EMERGENCY LIGHTING W/ BATTERY PACK
	EXISTING CONSTRUCTION TO BE DEMOLISHED		SMOKE DETECTOR
	NEW QUAD		DOOR SCHEDULE MARKER
	NEW QUAD GROUND FAULT CIRCUIT INTERRUPT OUTLET		WINDOW SCHEDULE MARKER
	NEW PHONE CONNECTION		WALL TAG MARKER
	NEW DATA CONNECTION		FLOOR / GRADE ELEVATION
	NEW/EXISTING LIGHT SWITCH ALL LIGHTS TO BE ON TIMERS, MOTION ACTIVATED U.N.O.		

DRAWING LIST

ARCHITECTURAL DRAWINGS:	
A0.0 COVER SHEET AND BUILDING CODE ANALYSIS	
A0.1 BUILDING DATA	
A2.0 3RD FLOOR PLAN	
A2.1 3RD FLOOR RCP PLAN	

TWO-WAY COMMUNICATION

A TWO-WAY COMMUNICATION SYSTEM SERVING THE ELEVATOR AND IN THE AREA OF REFUGE ON EACH FLOOR SHALL BE INSTALLED AS DIRECTED BY FIRE MARSHALL SYSTEM TO PROVIDE COMMUNICATION BETWEEN LOCATION AND FIRE COMMAND CENTER OR CENTER APPROVED BY FIRE DEPARTMENT. THE COMMUNICATION SYSTEM SHALL INCLUDE AUDIBLE AND VISUAL SIGNALS.

REQUIRED PLUMBING FIXTURES

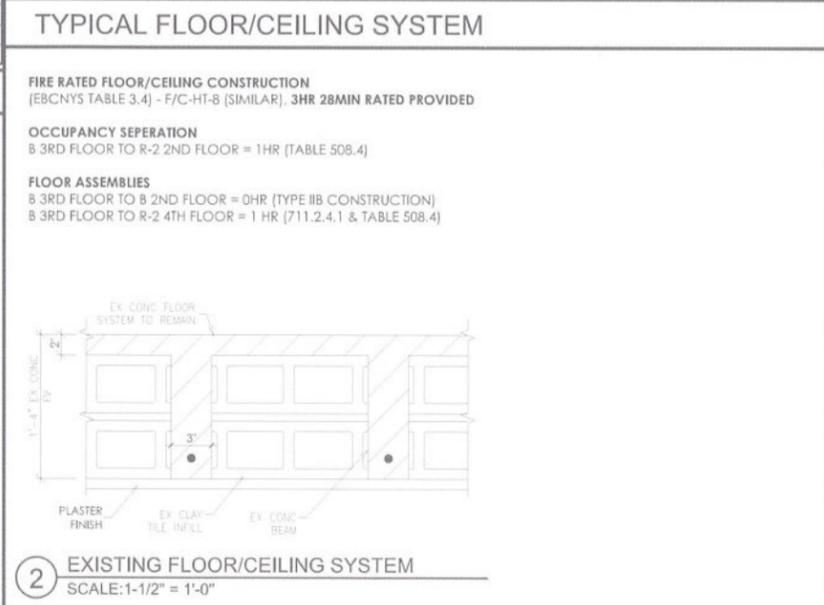
NATIONAL STANDARD PLUMBING CODE
PLUMBING FIXTURE REQUIREMENTS (PER TABLE 2902.1)
NUMBER OF OCCUPANTS = 94 @ 47 MALE, 47 FEMALE (PER FLOOR)

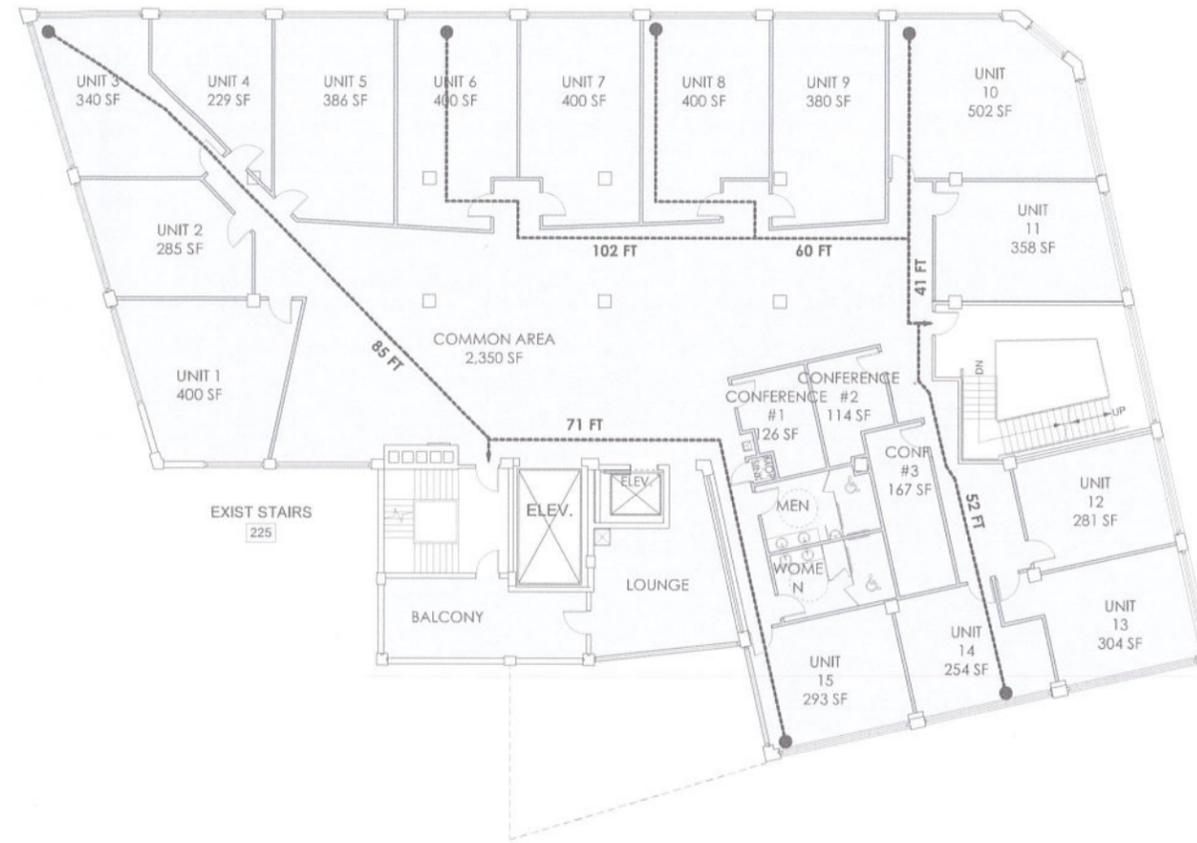
	REQUIRED	PROVIDED
WATER CLOSET	2 MALE + 2 FEMALE	2 MALE + 2 FEMALE
LAVATORY	2 MALE + 2 FEMALE	2 MALE + 2 FEMALE
DRINKING FOUNTAINS	1	1
SERVICE SINK	1	1
SHOWERS		

SCOPE OF WORK

INTERIOR FITOUT OF THE THIRD FLOOR OF AN EXISTING 5 STORY BUILDING. ANY WORK ON THE EXTERIOR OR ON OTHER FLOORS IS NOT A PART OF THIS PROJECT.

MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION SYSTEMS TO BE DESIGN / BUILD BY LICENSED PROFESSIONALS IN THEIR RESPECTIVE TRADES AND PERFORMED TO APPLICABLE CODE COMPLIANCE.





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3RD FLOOR RENOVATIONS
FOR THE GEAR FACTORY
200 GEDDES STREET
SYRACUSE, NY 13204

1 3RD FLOOR EGRESSPLAN
SCALE: 3/32"=1'-0"

DATE: JANUARY 28, 2019 ISSUED FOR PERMIT
REVISIONS:

AREA OF WORK

ABBREVIATIONS

A	And	ø or DIA	Diameter	GA	Gauge	MTL	Metal	R	Riser	T	Tread
L	Angle	DIM	Dimension	GALV	Galvanized	[N]	New	[R]	Remove	T & B	Top and Bottom
AB	Anchor Bolt	DF	Drinking Fountain	GFI	Ground Fault Interrupter	NAT.	Natural	R&S/RS	Rod and Shelf	T & G	Tongue and Groove
ABV.	Above	DN	Down	GL	Glass	N.I.C.	Not in Contract	RAD	Radius	TB	Towel Bar
AFF	Above Finish Floor	DS	Down Spout	GLULAM	Glue Laminated Beam	NO. or #	Number	REF	Refrigerator	TBS	To Be Selected
ALUM	Aluminum	DW	Dish Washer	GWB	Gypsum wallboard	NTS	Not to Scale	REQ D	Required	TOC	Top of Concrete
ADJ	Adjustable	DWG	Drawing	GRD	Grade			RD	Roof Drain	TO	Top of
APPROX	Approximate	[E]	Existing	GSM	Galvanized Sheet Metal	ø	Over	RDWD	Redwood	T.O.B	Top of Beam
ARCH	Architectural	EA	Each	GSF	Gross Square Feet	OC	On Center	RHWS	Round Head Wood Screw	TOFF	Top of Finish Floor
@	At the rate of	EF	Each Face	HS	Hose Bibb	OD	Outside Diameter	RM	Room	TOP/TOP1	Top of Plate
BD	Board	ELEV	Elevation	HDR	Header	OFOS	Outside Face of Stud	RO	Rough Opening	TOS	Top of Steel
BLDG	Building	EJ	Expansion Joint	HDWD	Hardwood	OP	Observation Pipe	ROS	Roll Out Shelves	TOCF	Top of Sub Floor
BLK	Block	EQ	Equal	HORIZ	Horizontal	OH	Opposite Hand	RWL	Rain Water Leader	TOW	Top of Wall
BLKG	Blocking	EXG	Existing	HR	Hour	PC	Pre-cast			TH	Thick
BM	Beam	EXT	Exterior	H	Height	P.A.	Planting Area	SBO	Supplied By Owner	TYP	Typical
BOIT	bottom	EW	Each Way	HWH	Hot Water Heater	PLC	Plumbing Chasse	SC	Solid Core		
BOH	Bottom of Header	EWA	Exterior Wall Assembly	HM	Hollow metal	PL	Plate	S.C.D.	See Civil Dwg.	UNO	Unless Noted Otherwise
CL	Centerline			ID	Inside Diameter	PL	Properly Line	SCHED	Schedule		
CFMF	Cold-formed M/I Frame	FD	Floor Drain	INSUL	Insulation	PLAM	Plastic Laminata	S.E.D.	See Electrical Dwg.	VAR	Varies
CAB	Cabinet	FHWS	Flat Head Wood Screw	INT	Interior	PPL	People	SHI	Sheet	VER	Verify
C.A.H.	Clear All Heart	FOC	Face of Concrete	IFA	Interior Floor Assembly	PLYWD	Plywood	SHTG	Sheathing	VIF	Verify in Field
CT	Ceramic Tile	POF	Face of Framing	JST	Joist	POL	Polished	SHWR	Shower	VERT	Vertical
CLG	Ceiling	FOM	Face of Masonry	JT	Joint	P.T.	Pressure Treated	SM	Similar	VTR	Vent Through Roof
CLR	Clear	F.O.S.	Face of Stud	KN	Knock-down	P.V.C.	Poly Vinyl Chloride	SL	Slope		
COL	Column	FIN	Finish	LAM.	Laminate	P.M	Patch & Match	S.L.D.	See Landscape Dwg.	W/D	Washer Dryer
CONC	Concrete	FLSH	Flashing	LAV	Lavatory	R.	Riser	S.E.D.	See Mechanical Dwg.	W/	With
CONT	Continuous	FL	Floor	LVL	Lamin. Ven. Lumber	R&S	Rod and Shelf	SPEC	Specifications	WC	Water Closet
CTR	Center	FDN	Foundation	MAX	Maximum	[R]	Remove	SQ	Square	W/O	Without
CO	Clean Out	FRT	Fire Retardant Treated	MFR	Manufacturer	R&S	Rod and Shelf	SF	Square Foot	W.O.	Where Occurs
CSINK	Countersink	FT	Feet	MIN	Minimum	RAD.	Radius	SST	Stainless Steel	WD.	Wood
DYR	Dryer	FIG	Footing	MISC	Miscellaneous	REF.	Refrigerator	STD	Standard	W.D.	Waste Drain
DBL	Double	FURR	Furring			REQ D.	Required	STL	Steel	WP.	Waterproofing
D	Deep	FW	Finish Wall			R.D.	Roof Drain	STRUCT	Structural	W.R.	Water Resistant

EGRESS PLAN
SCALE: AS NOTED
PROJECT NO.: 2017-16
DRAWN BY: AMH
CHECKED BY: AMC

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3RD FLOOR RENOVATIONS
FOR THE GEAR FACTORY
200 GEDDES STREET
SYRACUSE, NY 13204

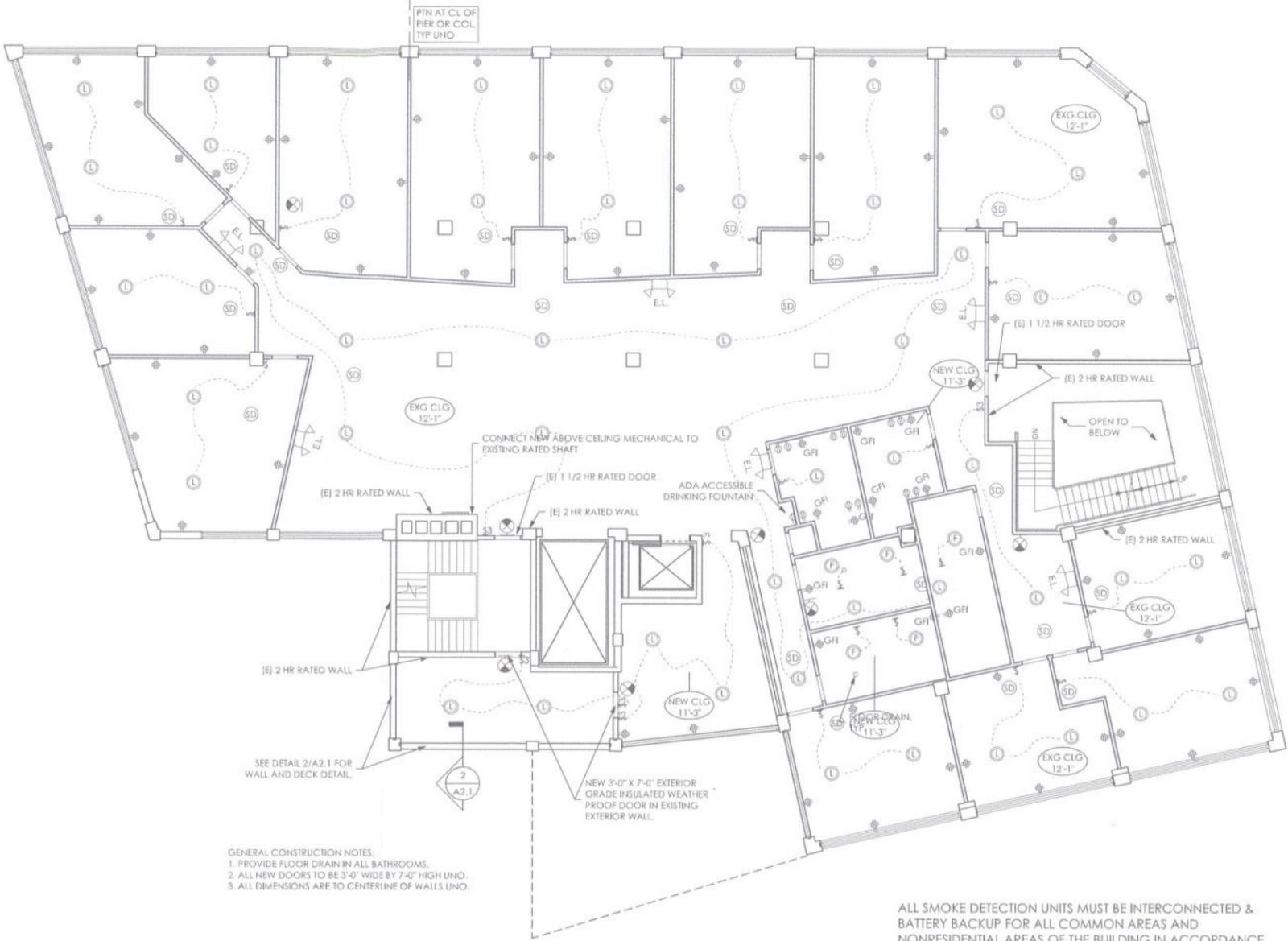
DATE: JANUARY 28, 2019 ISSUED FOR PERMIT
REVISIONS:

DRAWN BY: AMH
CHECKED BY: AMC

SCALE: AS NOTED
PROJECT NO: 2017-16

3RD FLOOR RCP

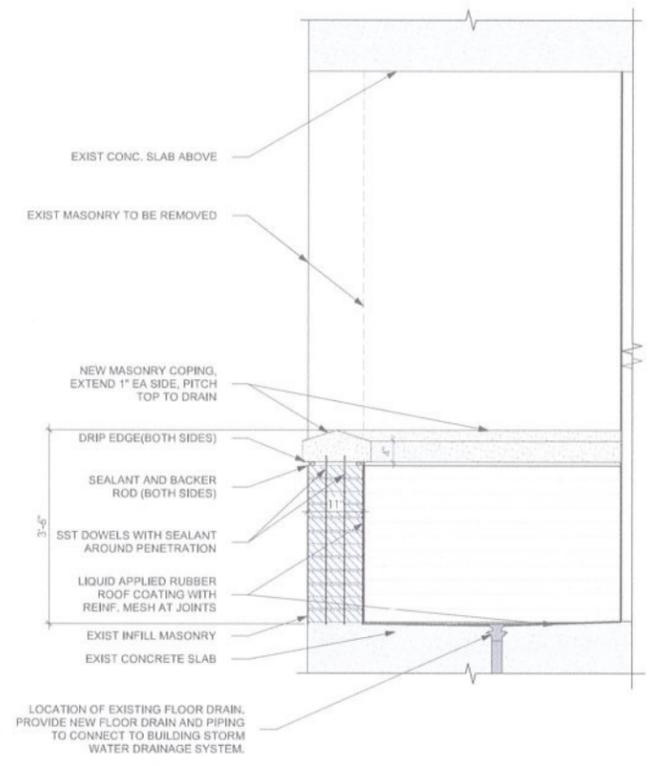
A2.1
OF



1 PROPOSED 3RD FLOOR REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

GENERAL SYMBOLS	
	SURFACE MOUNTED LED LIGHT FIXTURE
	SURFACE MOUNTED LED FAN/LIGHT FIXTURE
	ILLUMINATED EXIT SIGN
	NEW EMERGENCY LIGHTING W/ BATTERY PACK
	SMOKE DETECTOR
	NEW QUAD
	NEW QUAD GROUND FAULT CIRCUIT INTERRUPT OUTLET
	NEW/EXISTING LIGHT SWITCH ALL LIGHTS TO BE ON TIMERS, MOTION ACTIVATED U.N.O.
	CEILING HEIGHT MARKER

- GENERAL REFLECTED CEILING PLAN NOTES
- SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATIONS OF FIXTURES, DIFFUSERS, DEVICES, ETC. COORDINATE LOCATIONS OF SPRINKLER HEADS.
 - ANY DISCREPANCIES BETWEEN DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER PRIOR TO COMMENCING WORK.



2 SECTION AT BALCONY
SCALE: 3/4" = 1'-0"
2 EXTERIOR DECK & WALL DETAIL
SCALE: ACTUAL SIZE

- GENERAL CONSTRUCTION NOTES:
- PROVIDE FLOOR DRAIN IN ALL BATHROOMS.
 - ALL NEW DOORS TO BE 3'-0" WIDE BY 7'-0" HIGH UNO.
 - ALL DIMENSIONS ARE TO CENTERLINE OF WALLS UNO.

ALL SMOKE DETECTION UNITS MUST BE INTERCONNECTED & BATTERY BACKUP FOR ALL COMMON AREAS AND NONRESIDENTIAL AREAS OF THE BUILDING IN ACCORDANCE WITH 27-43 OF THE CITY OF SYRACUSE CONSERVATION CODE.

PROJECT



4TH & 5TH FLOOR RENOVATIONS

PROJECT TEAM

OWNER

VIBRANT SYRACUSE SPACES
200 SOUTH GEDDES STREET
SYRACUSE, NY 13204
(315) 374-6487 (phone)
CONTACT: RICHARD DESTITO
EMAIL: thegearfactorysy@gmail.com

ARCHITECT

OPEN ATELIER
ARCHITECTURE, PLANNING & DESIGN
451 SOUTH WARREN STREET
SYRACUSE, NY 13202
(315) 200-1560 (phone)
CONTACT: ANTHONY CATSIMATIDES, A.I.A.
EMAIL: amc@openatelier.com

GENERAL NOTES

- IT IS INCUMBENT UPON THE G.C. AND ALL OF HIS/HER SUBCONTRACTORS TO VISUALLY SURVEY AND MEASURE THE SITE TO VERIFY THAT THE SPACE AS DESIGNED CAN BE ACCOMMODATED. PRIOR TO ANY CONSTRUCTION, THE G.C. SHALL CHALK LINE THE ENTIRE PREMISES, REVIEW ALL EXISTING CONDITIONS, INCLUDING BUILDING SYSTEMS AND STRUCTURES SCHEDULED TO REMAIN OR OWNER SYSTEMS WHICH PASS THROUGH THE PROJECT SPACE. FOR NON-INTERFERENCE WITH PROPOSED DESIGN AS INDICATED ON THESE DOCUMENTS, ANY DISCREPANCIES, CONFLICTS OR OMISSIONS SHALL BE REPORTED TO THE ARCHITECT AND OWNER IMMEDIATELY TO ALLOW FOR A CLARIFICATION DOCUMENT TO BE ISSUED PRIOR TO PERFORMANCE OF ANY WORK IN QUESTION. FAILURE TO COMPLY SHALL MAKE THE G.C. LIABLE FOR ALL COSTS AND/OR CORRECTIONS TO ACCOMMODATE DESIGN INDICATED WITHIN THESE DOCUMENTS.
- ANY DISCREPANCIES BETWEEN PLAN SHEET AND/OR PROFESSIONAL DISCIPLINES SHALL BE REPORTED TO THE OWNER AND ARCHITECT AFTER A THOROUGH REVIEW OF THE CONSTRUCTION SET PRIOR TO THE START OF CONSTRUCTION. ALL CONTRACTORS, AND SUBCONTRACTORS SHALL REVIEW A FULL SET OF PLANS TO DETERMINE THEIR SCOPE OF WORK AND SHALL REPORT ANY INCONSISTENCIES TO THE OWNER AND ARCHITECT PRIOR TO THE START OF CONSTRUCTION. NO EXCEPTIONS WILL BE TAKEN. ALL QUESTIONS REGARDING THE CONSTRUCTION SET AND SPECIFICATIONS SHALL BE SUBMITTED TO THE OWNER AND ARCHITECT OF RECORD IN THE FORM OF A WRITTEN REQUEST FOR INFORMATION TO CLARIFY THE INTENT OF THE DRAWINGS.
- WHEN THE CONTRACTOR ACCEPTS DELIVERY OF ALL ITEMS NOTED ON PLANS WHETHER IN CONTRACT OR NOT IN CONTRACT, HE/SHE SHALL BE RESPONSIBLE FOR LOSS AND/OR DAMAGE TO THESE ITEMS.
- THE CONTRACTOR SHALL MAINTAIN, FOR THE ENTIRE DURATION OF THE WORK, ALL EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES AND ALARMS IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
- ALL SAW CUTTING AND/OR CORING LOCATIONS SHALL BE APPROVED AND COORDINATED WITH THE OWNER PRIOR TO CUTTING/CORING.
- DURING ALL PHASES OF WORK, DO NOT DISTURB THE DELIVERIES AND FUNCTIONS OF ADJACENT NEIGHBORS.
- "TYP." SHOULD MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT. UNLESS OTHERWISE NOTED, DETAILS ARE USUALLY KEYED AND NOTED "TYP" ONLY ONCE WHEN THEY FIRST OCCUR.
- "SIM" SHALL MEAN COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.
- REMOVE ALL EXISTING CONSTRUCTION WHICH INTERFERES WITH THE WORK SHOWN ON THESE DRAWINGS. PATCH THE SUBFLOOR TO A UNIFORM LEVEL AS REQUIRED TO ACCOMMODATE THE NEW FLOORING. VERIFY NEW FLOOR SLOPE AND REPORT ANY DISCREPANCIES TO THE OWNER AND ARCHITECT.
- ALL WORK SHALL CONFORM WITH THE LATEST ADA GUIDELINES & ANSI A 117.1 2009.
- PROVIDE PORTABLE FIRE EXTINGUISHER(S) WITH U.L. LABEL AND A RATING OF NOT LESS THAN 3A 40BC WITH 75 FT. TRAVEL DISTANCE TO ALL POSITIONS OF AREA OF WORK OR AS DIRECTED BY THE FIRE DEPARTMENT FIELD INSPECTOR.
- THE ENTIRE BUILDING ENVELOPE AND ALL PIPES SHALL BE PROPERLY THERMALLY INSULATED IN CONFORMANCE WITH THE NATIONAL, STATE, AND LOCAL ENERGY CODES.
- ALL METHODS & MATERIALS INCLUDING CONSTRUCTION COMPLY WITH ALL GENERALLY ACCEPTED STANDARDS INCLUDING PROPER DRAINAGE, FLASHING, SEALING AND CAULKING OF THE BUILDING NECESSARY TO PREVENT MOISTURE PENETRATION TO THE INTERIOR FROM THE OUTSIDE SURFACE OF ALL ENVELOPE COMPONENTS.
- ALL TRADES SHALL BE RESPONSIBLE FOR COORDINATION WITH GC AND GIVING OWNER START/COMPLETION DATES.
- ALL ELECTRICAL SERVICE SHALL MEET THE REQUIREMENTS OF ALL APPLICABLE CODES INCLUDING NFPA 70.

CODE ANALYSIS

PROJECT TYPE: INTERIOR RENOVATION / FIT-OUT OF 4TH & 5TH FLOOR ONLY
BUILDING CODES: NYS BUILDING CODE 2015 (BCNYS)
 NYS EXISTING BUILDING CODE 2015 (EBCNYS)
 FIRE CODE OF NYS 2015
 PLUMBING, MECHANICAL, & FUEL GAS CODE OF NYS 2015
 ELECTRICAL CODE OF NYS 2015
 ENERGY CONSERVATION CODE OF NYS 2015
 2009 ANSI 117.1 BARRIER FREE CODE
EXISTING OCCUPANCY TYPE: B BUSINESS AT BASEMENT AND 1ST FLOOR, F-2 FACTORY AT 4TH - 5TH STORIES
PROPOSED OCCUPANCY TYPE: R-2 RESIDENTIAL (BOARDING HOUSE PER BCNYS SECTION 310.4) AT 4TH-5TH STORIES
CONSTRUCTION TYPE (602.3): II-B NONCOMBUSTIBLE UNPROTECTED - (SPRINKLERED)
BUILDING HEIGHT: EXISTING 75' (TABLE 504.3) PROPOSED: NO CHANGE
NUMBER OF STORIES: EXISTING = 5 STORIES PROPOSED: NO CHANGE
AREA PER FLOOR: EXISTING (BSMT/1ST FL = 9,368 SF, 2ND FL = 9,612 SF, 3RD - 5TH FL = 9,368 SF) PROPOSED: NO CHANGE
AREA TOTAL ALL FLOORS: EXISTING = 57,368 SF PROPOSED: NO CHANGE

AREA CALCULATIONS [506.2.4, TABLE 506.2] SEE SITE PLAN PERIMETER DIMENSIONS BELOW:
 (STREET FRONT FACADES TOTAL = 222')
 (TOTAL PERIMETER ALL SIDES = 461.792')

EQUATION 5-4 (PERIMETER OF 362.4' ON DRIVEWAY SIDES)
 $W = [222 \times 30' + 23 \times 23' + 15.16 \times 30' + 20 \times 30' + 27.5 \times 30' + 25.58 \times 26' + 29.16 \times 30'] / 362.4'$
 $W = [10,608.6] / 362.4 = 29.27$ AVERAGE

EQUATION 5-5
 $I_p = [362.4 / 461.792 - 0.25] 29.27 / 30$
 $I_p = [.765 - 0.25 = .515] \times 975 = .52$

EQUATION 5-3
 BSMT & 1ST FL = (B) [69,000 + (23,000 X .52)] = 80,960 SF
 2ND FL (A-3) = [28,500 + (9,500 X .52)] = 33,440 SF
 3RD, 4TH, 5TH FL (R-2) = [48,000 + (16,000 X .52)] = 56,320 SF

CHANGE OF OCCUPANCY WITH SEPARATION OF USES (PER EBCNY 1012.1.1)
 SEPARATION OF USES (PER TABLE 508.4 BCNYS) 1 HOUR, EXISTING CONSTRUCTION

FIRE PROTECTION: FIRE SPRINKLER SYSTEM (PER CHAPTER 9, BCNYS); EXISTING TO BE MODIFIED (PER NFPA 13 AND PER BCNYS, TABLE 903.3)
 MANUAL FIRE ALARM SYSTEM (PER 907.2.9.1 BCNYS)
 SMOKE ALARMS PER 907.2.9.2 (907.2.11) BCNYS

MEANS OF EGRESS HAZARD CATEGORIES: (PER EBCNYS TABLE 1012.4, COMPLY WITH CHAPTER 10, BCNYS):
 EXISTING HAZARD: 5
 PROPOSED HAZARD: 3
 CHANGE FROM LOWER TO HIGHER HAZARD

HEIGHTS AND AREAS HAZARD CATEGORIES: (PER EBCNYS TABLE 1012.5, COMPLY WITH CHAPTER 5, BCNYS):
 EXISTING HAZARD: 4
 PROPOSED HAZARD: 2
 CHANGE FROM LOWER TO HIGHER HAZARD

HEIGHT AND AREA OF EXISTING BUILDING: (PER EBCNYS 1012.5.1): LIMIT TO 5 STORIES, PROPOSED USE ON 4TH & 5TH FL ONLY
 EXPOSURE OF EXTERIOR WALLS HAZARD CATEGORIES (PER EBCNYS TABLE 1012.6)
 EXISTING EXTERIOR WALLS TO REMAIN AS IS

OCCUPANT LOAD (PER TABLE 1004.1.2): R @ 1 PER 200 GSF = 9,368 / 200 = 47 OCCUPANTS PER FLOOR

STAIRWAY EXIT CAPACITY (PER 1005.3.2 EXCEPTION 1):
 TOTAL REQUIRED EXIT WIDTH = 47 x 0.2 = 9.4' (72" MIN PER 1011.2, EXC. 1)
 TOTAL PROVIDED EXIT WIDTH = 9.2'
 TOTAL REQUIRED EXITS = 2
 TOTAL PROVIDED EXITS = 2

MAX TRAVEL DISTANCE (PER TABLE 1017.2): TOTAL ALLOWED = 250'

CORRIDOR WIDTH (PER TABLE 1020.2):
 REQUIRED WIDTH = 44"
 MINIMUM PROVIDED WIDTH = 44"

INTERIOR WALL AND CEILING FINISHES (PER 803.11):
 INTERIOR EXIT STAIRWAYS AND RAMPS & EXIT PASSAGEWAYS: TYPE C
 CORRIDORS & ENCLOSURE FOR EXIT ACCESS: TYPE C
 STAIRWAYS AND RAMPS: TYPE C
 ROOMS AND ENCLOSED SPACES: CLASS II, MIN.

CONSTRUCTION RQ'MTS	STRUCTURE OR ELEMENT	HR RATING
FIRE RESISTIVE RATINGS	STRUCTURAL FRAME	0 HR
PER TABLE 601 & 602	EXTERIOR LOAD BEARING WALLS	0 HR
TYPE IIB CONSTRUCTION	INTERIOR LOAD BEARING WALLS	0 HR
WHEN APPLYING FOR A FIRE ALARM PERMIT, SMOKE DETECTORS ARE TO BE PROVIDED THROUGHOUT AREAS TO BE REMODELED FOR TOTAL COVERAGE.	INT & EXT NON-LOAD BEARING WALLS	0 HR
FIRE SEPARATIONS REQUIRED	FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0 HR
	ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0 HR
	CORRIDOR SEPARATION (TABLE 1020.1)	.5 HR
	BETWEEN SLEEPING UNITS (708.3, EXCEPTION 2)	.5 HR

SITE PLAN & PERIMETER DIMENSIONS



1 SITE PLAN & PERIMETER DIMENSIONS
 SCALE: 1"=30'-0"

SYMBOLS LEGEND

- SECTION ELEVATION MARKER
- DIRECTION MARKER
- NEW CONSTRUCTION
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- NEW QUAD
- NEW QUAD GROUND FAULT CIRCUIT INTERRUPT OUTLET
- NEW PHONE CONNECTION
- NEW DATA CONNECTION
- NEW/EXISTING LIGHT SWITCH ALL LIGHTS TO BE ON TIMERS, MOTION ACTIVATED U.N.O.
- SURFACE MOUNTED LIGHT FIXTURE
- ILLUMINATED EXIT SIGN
- NEW EMERGENCY LIGHTING W/ BATTERY PACK
- SMOKE DETECTOR
- DOOR SCHEDULE MARKER
- WINDOW SCHEDULE MARKER
- WALL TAG MARKER
- FLOOR / GRADE ELEVATION

DRAWING LIST

- ARCHITECTURAL DRAWINGS:
 A0.0 COVER SHEET AND BUILDING CODE ANALYSIS
 A0.1 BUILDING DATA
 A2.0 4TH FLOOR PLAN
 A2.1 5TH FLOOR PLAN
 A2.2 4TH FLOOR RCP PLAN
 A2.3 5TH FLOOR RCP PLAN
 A5.0 INTERIOR/EXTERIOR ELEVATIONS & DETAILS

TWO-WAY COMMUNICATION

A TWO-WAY COMMUNICATION SYSTEM SERVING THE ELEVATOR AND IN THE AREA OF REFUGE ON EACH FLOOR SHALL BE INSTALLED AS DIRECTED BY FIRE MARSHALL. SYSTEM TO PROVIDE COMMUNICATION BETWEEN LOCATION AND FIRE COMMAND CENTER OR CENTER APPROVED BY FIRE DEPARTMENT. THE COMMUNICATION SYSTEM SHALL INCLUDE AUDIBLE AND VISUAL SIGNALS.

REQUIRED PLUMBING FIXTURES

NATIONAL STANDARD PLUMBING CODE
 PLUMBING FIXTURE REQUIREMENTS (PER TABLE 2902.1)
 NUMBER OF OCCUPANTS = 49 @ 25 MALE, 25 FEMALE (PER FLOOR)

	REQUIRED	PROVIDED
WATER CLOSET	2 MALE + 2 FEMALE	3 MALE + 3 FEMALE
LAVATORY	2 MALE + 2 FEMALE	3 MALE + 3 FEMALE
DRINKING FOUNTAINS	1	1
SERVICE SINK	1	1
SHOWERS	6	6

ADA TOILET & BATHING (IBCNY 1109.2 EXCEPTION 3) 50% OF TOILETS OR BATHING ROOMS TO BE ACCESSIBLE

SCOPE OF WORK

INTERIOR FITOUT OF 2 FLOORS OF AN EXISTING 5 STORY BUILDING. ANY WORK ON THE EXTERIOR OR ON OTHER FLOORS IS NOT A PART OF THIS PROJECT.

MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION SYSTEMS TO BE DESIGN / BUILD BY LICENSED PROFESSIONALS IN THEIR RESPECTIVE TRADES AND PERFORMED TO APPLICABLE CODE COMPLIANCE.

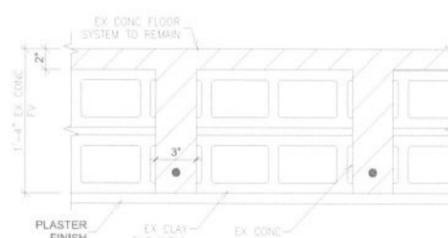
TYPICAL FLOOR/CEILING SYSTEM

FIRE RATED FLOOR/CEILING CONSTRUCTION

(EBCNYS TABLE 3.4) - F/C-HT-8 (SIMILAR), 3HR 28MIN RATED.

OCCUPANCY SEPERATION
 R-2 TO B = 1 HR (TABLE 508.2)
 R-2 TO A = 1 HR (TABLE 508.2)

HORIZONTAL SEPERATION
 R-2 TO R-2 = 0HR (711.2.3.EXCEPTION 2)



2 EXISTING FLOOR/CEILING SYSTEM
 SCALE: 1-1/2"= 1'-0"



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4TH & 5TH FLOOR RENOVATIONS FOR THE GEAR FACTORY
 200 GEDDES STREET
 SYRACUSE, NY 13204

DATE: 10/03/2017
 REVISIONS: 6/5/18 RESUBMIT

COVER SHEET
 BUILDING CODE ANALYSIS
 DRAWN BY: AMH
 CHECKED BY: AMC

SCALE: AS NOTED
 PROJECT NO: 2017-16

A0.0
 OF

EGRESS PLAN / AREA OF WORK



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4TH & 5TH FLOOR RENOVATIONS FOR THE GEAR FACTORY
200 GEDDES STREET SYRACUSE, NY 13204

DATE: 10/03/2017 ISSUED FOR PERMIT
REVISIONS: 6/5/18 RESUBMIT 3

DRAWN BY: AMH
CHECKED BY: AMC

EGRESS PLAN
SCALE: AS NOTED
PROJECT NO: 2017-16

A0.1
OF



1 4TH FLOOR PLAN
SCALE: 3/32"=1'-0"

2 5TH FLOOR PLAN
SCALE: 3/32"=1'-0"

ABBREVIATIONS

S	And	a or DIA	Diameter	GA	Gauge	MTL	Metal	R	Riser	T	Tread
L	Angle	DIM	Dimension	GALV	Galvanized	[N]	New	[R]	Remove	T & B	Top and Bottom
AB	Anchor Bolt	DF	Drinking Fountain	GFI	Ground Fault Interrupter	NAT.	Natural	R&S/R5	Rod and Shelf	T & G	Tongue and Groove
ABV.	Above	DN	Down	GL	Glass	N.J.C.	Not in Contract	RAD	Radius	TB	Towel Bar
AFF	Above Finish Floor	DS	Down Spout	GLULAM	Glue Laminated Beam	NO. or #	Number	REF	Refrigerator	TBS	To Be Selected
ALUM	Aluminum	DW	Dish Washer	GWB	Gypsum wallboard	NTS	Not to Scale	REQD	Required	TOC	Top of Concrete
ADJ	Adjustable	DWG	Drawing	GRD	Grade			RD	Roof Drain	TO	Top of
APPROX	Approximate	(E)	Existing	GSM	Galvanized Sheet Metal or		Over	RDWD	Redwood	T.O.B	Top of Beam
ARCH	Architectural	EA	Each	GSF	Gross Square Feet	OC	On Center	RHWS	Round Head Wood Screw	TOFF	Top of Finish Floor
AT	At the rate of	EF	Each Face	HB	Hose Bibb	OD	Outside Diameter	RM	Room	TOP/ICPL	Top of Plate
BD	Board	ELEV	Elevation	HDR	Header	OFOS	Outside Face of Stud	RO	Rough Opening	TCS	Top of Steel
BLDG	Building	EJ	Expansion Joint	HDWD	Hardwood	OP	Observation Pipe	ROS	Roll Out Shelves	TQSF	Top of Sub Floor
BLK	Block	EQ	Equal	HGRIZ	Horizontal	OH	Opposite Hand	RWL	Rain Water Leader	TCW	Top of Wall
BLKG	Blocking	EXG	Existing	HR	Hour	PC	Pre-cast			TH	Thick
BM	Beam	EXT	Exterior	H	Height	P.A.	Planting Area	SBO	Supplied By Owner	TYP	Typical
BOTT	Bottom	EW	Each Way	HWH	Hot Water Heater	PLC	Plumbing Chase	SC	Solid Core		
BOH	Bottom of Header	EWA	Exterior Wall Assembly	HM	Hollow metal	PL	Plate	S.C.D.	See Civil Dwg.	UNO	Unless Noted Otherwise
CL	Centerline			ID	Inside Diameter	PL	Property Line	SCHED	Schedule		
CFMF	Cold-formed Mill Form	FD	floor Drain	INSUL	Insulation	PLAM	Plastic Laminate	S.E.D.	See Electrical Dwg.	VAR	Varies
CAB	Cabinet	RHWS	Flat Head Wood Screw	INT	Interior	PFL	People	SHT	Sheet	VER	Verify
C.A.H.	Clear All Heart	FOC	Face of Concrete	IFA	Interior Floor Assembly	PLYWD	Plywood	SHTG	Sheathing	VF	Verify in Field
CT	Ceramic Tile	FOF	Face of Framing			POL	Polished	SHWR	Shower	VERI	Vertical
CLG	Ceiling	FOM	Face of Masonry	JT	Joint	P.T.	Pressure Treated	SL	Slope	VTR	Vent Through Roof
CLR	Clear	F.O.S.	Face of Stud	JD	Joint	PTD.	Painted				
COL	Column	FIN	Finish	KD	Knock-down	P.V.C.	Poly Vinyl Chloride	S.L.D.	See Landscape Dwg.	W/D	Washer Dryer
CONC	Concrete	FLSH	Flashing	LAM.	Laminate	R.	Riser	S.M.D.	See Mechanical Dwg.	W/	With
CONT	Continuous	FL	Floor	LAV	Lavatory	R&S	Rod and Shelf	SPEC	Specifications	WC	Water Closet
CTR	Center	FDN	Foundation	LVL	Lamin. Ven. Lumber	R&S	Rod and Shelf	SQ	Square	W/O	Without
CD	Clean Out	FRT	Fire Retardant Treated	MAX	Maximum	R&S	Rod and Shelf	SF	Square Foot	W.O.	Where Occurs
CSNK	Countersink	FT	Feet	MAN	Manufacturer	R&S	Rod and Shelf	SST	Stainless Steel	WD	Wood
DYR	Dryer	FTG	Footing	MFR	Manufacturer	REF.	Refrigerator	STD	Standard	WD.	Waste Drain
DBL	Double	FURR	Furring	MN	Minimum	REQD.	Required	STL	Steel	WP.	Waterproofing
D	Deep	FW	Finish Wall	MISC	Miscellaneous	R.D.	Roof Drain	STRUCT	Structural	W.R.	Water Resistant

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4TH & 5TH FLOOR RENOVATIONS
FOR THE GEAR FACTORY
200 GEDDES STREET
SYRACUSE, NY 13204

DATE: 10/03/2017 ISSUED FOR PERMIT
REVISIONS: 6/5/18 RESUBMIT / 3

DRAWN BY: AMH
CHECKED BY: AMC

SCALE: AS NOTED
PROJECT NO: 2017-16

4TH FLOOR PLAN

A2.0
OF



2 ENLARGED BATHROOMS/KITCHEN PLAN
Scale: 1/4" = 1'-0"



1 PROPOSED 4TH FLOOR PLAN
SCALE: 1/8" = 1'-0"

INTERIOR PARTITION TYPES	
<p>CORRIDOR PARTITION UL# U419</p> <p>1 5/8" TYPE C. GWB EA SIDE ON 7/8" CFMF 25 MSG RESILIENT CHANNELS (ONE SIDE ONLY) @ 24" OVC. ON 3 5/8" 25 MSG (MIN) CFMF STUDS @ 16" OC. WITH 3 1/2" UNFACED FIBERGLASS BATT INSULATION INFILL. RUN TO STRUCTURE ABOVE. UNDERCUT STUDS PER UL DIRECTIVES. MOISTURE-RESISTANT SCX GWB AT WET AREAS. 1/2 HR RATING IS REQUIRED. DESIGN IS A 1 HR PTN.</p> <p>STC 54</p>	
<p>TYPICAL PARTITION (UL# U419 WHERE 1/2 HR RATING)</p> <p>2 5/8" TYPE SCX GWB EA SIDE. ON 3 5/8" 25 MSG (MIN) CFMF STUDS @ 16" OC. WITH 3 1/2" UNFACED FIBERGLASS BATT INSULATION INFILL. RUN TO STRUCTURE ABOVE. MOISTURE-RESISTANT SCX GWB MOLD TOUGH AT WET AREAS. WHERE 1/2 HR RATING REQUIRED. DESIGN IS A 1 HR PTN.</p> <p>STC 50</p>	

DOOR SCHEDULE		
DR	SIZE / TYPE	HARDWARE GROUPS
D 1	3'-0" X 7'-0" UNIT ENTRY DOOR: PAINTED HOLLOW METAL DOOR AND FRAME. 20 MINUTE RATED. WITH DOOR VIEWER	<p>NO. 1 HARDWARE GROUP: ENTRY FUNCTION:</p> <p>(3) HINGES - STANLEY CB179 4-1/2 X 4-1/2 US26D (1) LOCKSET - CORBIN RUSSWIN ML2024 x 626 (1) CLOSER - LCN 4040 (1) DOORSTOP - IVES FS436 US26D (1) 190" FIRE-RATED DOOR VIEWER: HD SUPPLY #B74140, SATIN NICKEL</p>
D 2	3'-0" X 7'-0" BATHROOM DOOR: PAINTED HOLLOW METAL DOOR AND FRAME. 20 MINUTE RATED WHERE IN PTN TYPE 1	<p>NO. 2 HARDWARE GROUP: PRIVACY FUNCTION:</p> <p>(3) HINGES - STANLEY CB179 4-1/2 X 4-1/2 US26D (1) BATHROOM LATCH - CORBIN RUSSWIN ML2030 x 626 (1) CLOSER - LCN 4040 (1) WALL STOP - IVES WS406/407-CVX US32D SATIN STAINLESS</p>
D 3	2'-4" X 7'-0" CLOSET DOOR: PAINTED HOLLOW METAL DOOR AND FRAME. 20 MINUTE RATED WHERE IN PTN TYPE 1	<p>NO. 3 HARDWARE GROUP: CLOSET FUNCTION:</p> <p>(3) HINGES - STANLEY CB179 4-1/2 X 4-1/2 US26D (1) LOCKSET - CORBIN RUSSWIN ML2010 x 626</p>
D 4	3'-8" X 7'-0" UNEQUAL PAIR KITCHEN DOORS (34" W AND 10" W LEAVES): PAINTED HOLLOW METAL DOOR AND FRAME. 20 MINUTE RATED. WITH MAGNETIC HOLD-OPENS	<p>NO. 4 HARDWARE GROUP: PASSAGE FUNCTION:</p> <p>(6) HINGES - STANLEY CB179 4-1/2 X 4-1/2 US26D (2) LOCKSET - CORBIN RUSSWIN ML2010 x 626 (2) CLOSER - LCN 4040 (2) MAGNETIC HOLD-OPENS</p>
D 5	3'-0" X 7'-0" EXTERIOR ENTRY DOOR: PAINTED GALVANIZED (DOOR INSULATED) HOLLOW METAL DOOR AND FRAME. WITH DEADBOLT	<p>NO. 5 HARDWARE GROUP: ENTRY FUNCTION:</p> <p>(3) HINGES - STANLEY CB179 4-1/2 X 4-1/2 US26D (1) LOCKSET - CORBIN RUSSWIN ML2024 x 626 (1) CLOSER - LCN 4040 (1) WALL STOP - IVES WS406/407-CVX US32D SATIN STAINLESS PROVIDE SIGN PER BCAYS 1010.1.9.3. 2.2 [THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED]</p>
D (E)	EXISTING DOOR TO REMAIN, SEE PLAN FOR RATING NOTES	

A2.0
OF



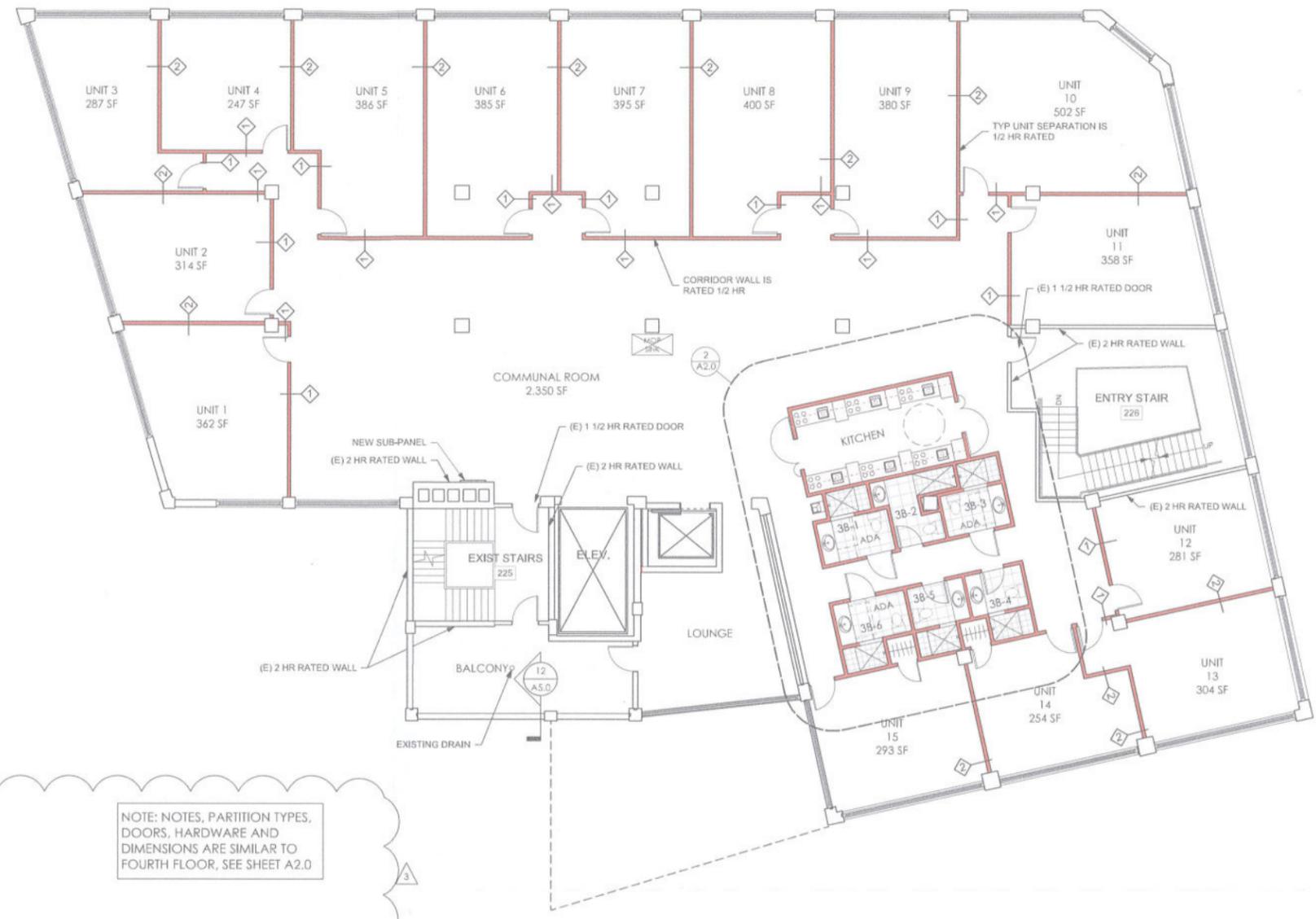
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4TH & 5TH FLOOR RENOVATIONS FOR THE GEAR FACTORY
200 GEDDES STREET
SYRACUSE, NY 13204

DATE: 10/03/2017 ISSUED FOR PERMIT
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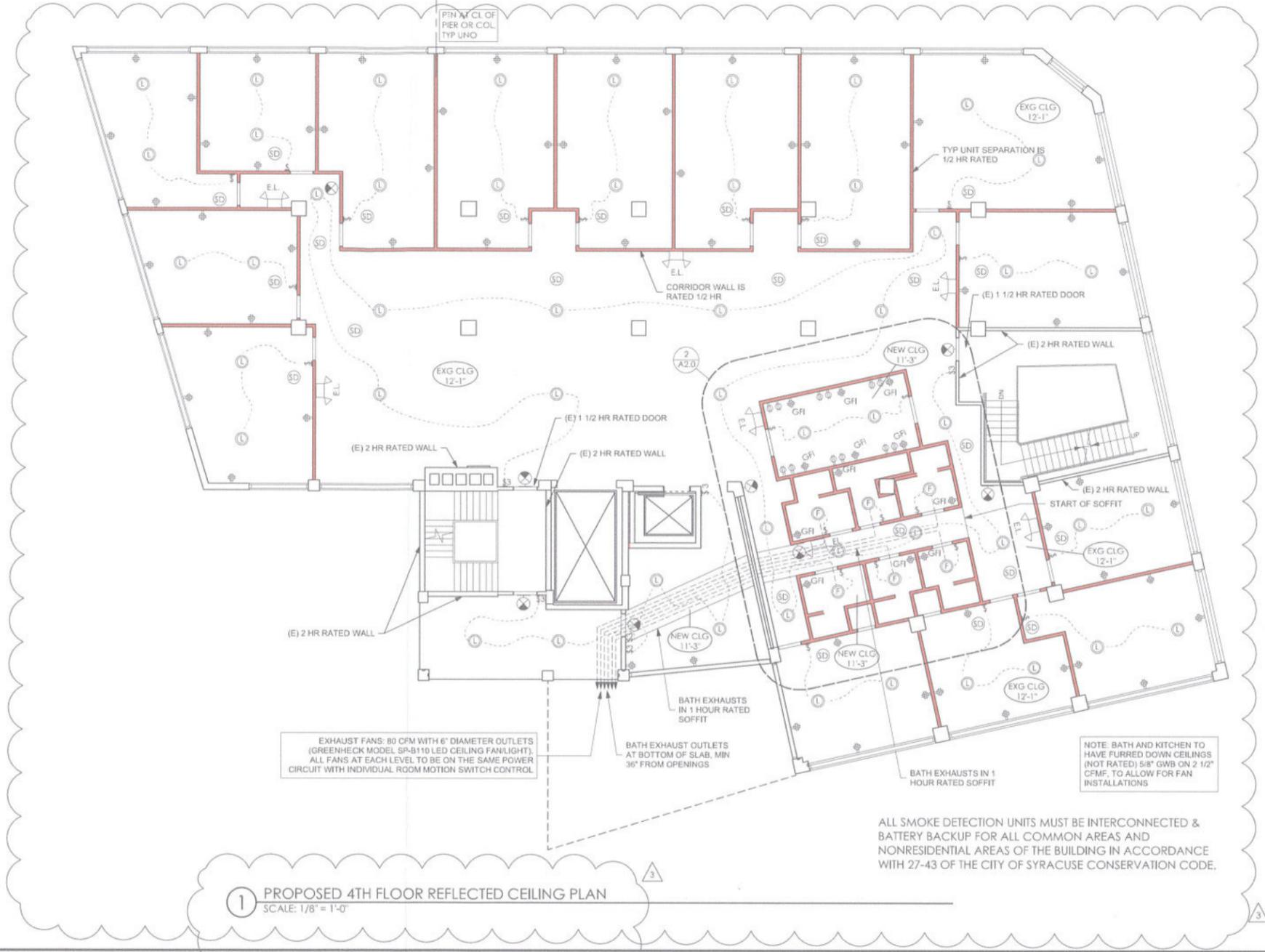
DRAWN BY: AMH
CHECKED BY: AMC

5TH FLOOR PLAN
SCALE: AS NOTED
PROJECT NO: 2017-16



NOTE: NOTES, PARTITION TYPES, DOORS, HARDWARE AND DIMENSIONS ARE SIMILAR TO FOURTH FLOOR, SEE SHEET A2.0

1 PROPOSED 5TH FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 PROPOSED 4TH FLOOR REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

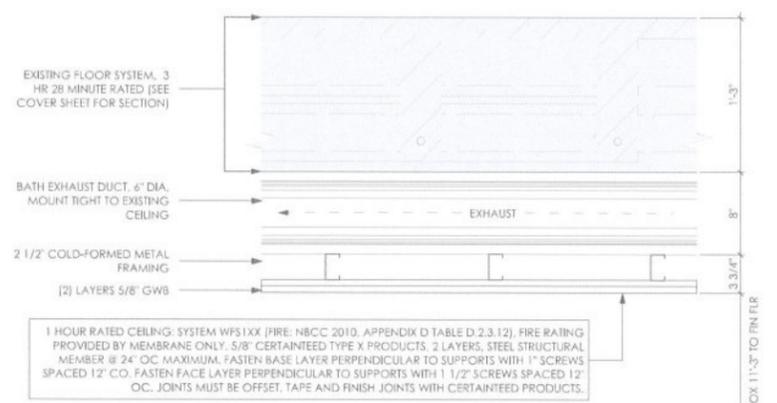
ALL SMOKE DETECTION UNITS MUST BE INTERCONNECTED & BATTERY BACKUP FOR ALL COMMON AREAS AND NONRESIDENTIAL AREAS OF THE BUILDING IN ACCORDANCE WITH 27-43 OF THE CITY OF SYRACUSE CONSERVATION CODE.

GENERAL SYMBOLS

- SURFACE MOUNTED LED LIGHT FIXTURE
- SURFACE MOUNTED LED FAN/LIGHT FIXTURE
- ILLUMINATED EXIT SIGN
- NEW EMERGENCY LIGHTING W/ BATTERY PACK
- SMOKE DETECTOR
- NEW QUAD
- NEW QUAD GROUND FAULT CIRCUIT INTERRUPT OUTLET
- NEW/EXISTING LIGHT SWITCH
ALL LIGHTS TO BE ON TIMERS, MOTION ACTIVATED U.N.O.
- EXG CLG 12'-1" CEILING HEIGHT MARKER

GENERAL REFLECTED CEILING PLAN NOTES

1. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATIONS OF FIXTURES, DIFFUSERS, DEVICES, ETC. COORDINATE LOCATIONS OF SPRINKLER HEADS.
2. ANY DISCREPANCIES BETWEEN DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER PRIOR TO COMMENCING WORK.



2 1 HOUR RATED SOFFIT
SCALE: 1-1/2" = 1'-0"

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4TH & 5TH FLOOR RENOVATIONS
FOR THE GEAR FACTORY
200 GEDDES STREET
SYRACUSE, NY 13204

DATE: 10/03/2017 ISSUED FOR PERMIT
REVISIONS: 4/27/18 RESUBMIT / 3

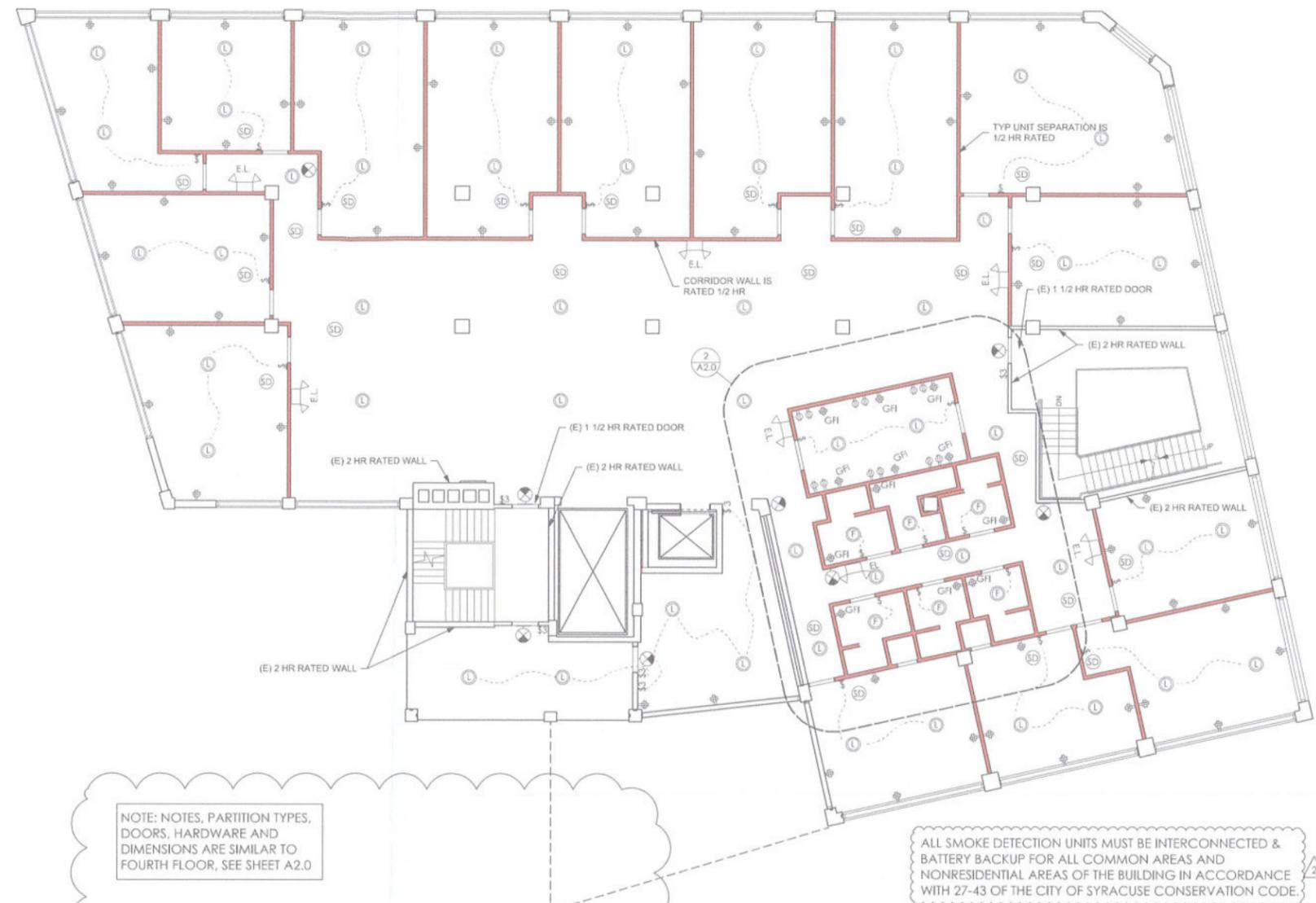
DRAWN BY: AMH
CHECKED BY: AMC

4TH RCP PLAN

SCALE: AS NOTED
PROJECT NO: 2017-16

A2.3

OF



NOTE: NOTES, PARTITION TYPES, DOORS, HARDWARE AND DIMENSIONS ARE SIMILAR TO FOURTH FLOOR, SEE SHEET A2.0

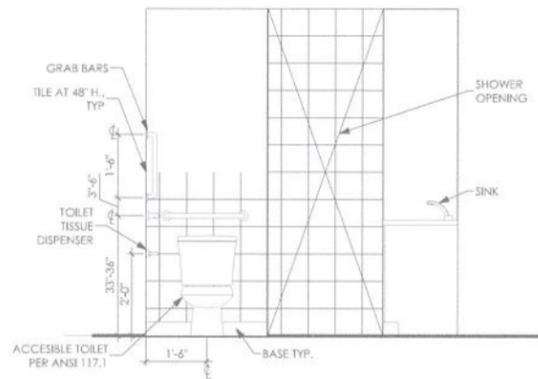
1 PROPOSED 5TH FLOOR REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

GENERAL SYMBOLS

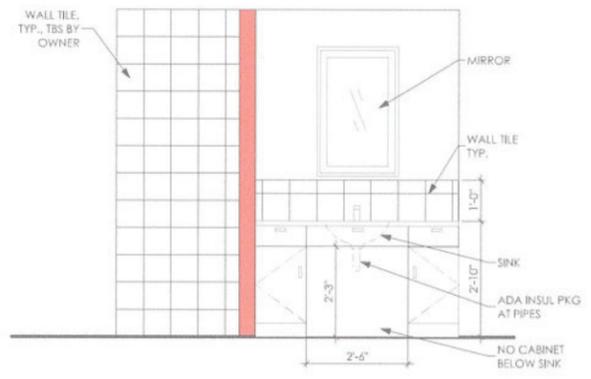
	SURFACE MOUNTED LIGHT FIXTURE
	ILLUMINATED EXIT SIGN
	NEW EMERGENCY LIGHTING W/ BATTERY PACK
	SMOKE DETECTOR
	NEW QUAD
	NEW QUAD GROUND FAULT CIRCUIT INTERRUPT OUTLET
	NEW/EXISTING LIGHT SWITCH ALL LIGHTS TO BE ON TIMERS, MOTION ACTIVATED U.N.O.

GENERAL REFLECTED CEILING PLAN NOTES

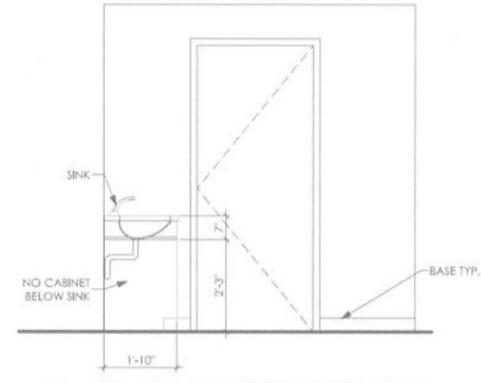
- SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATIONS OF FIXTURES, DIFFUSERS, DEVICES, ETC. COORDINATE LOCATIONS OF SPRINKLER HEADS.
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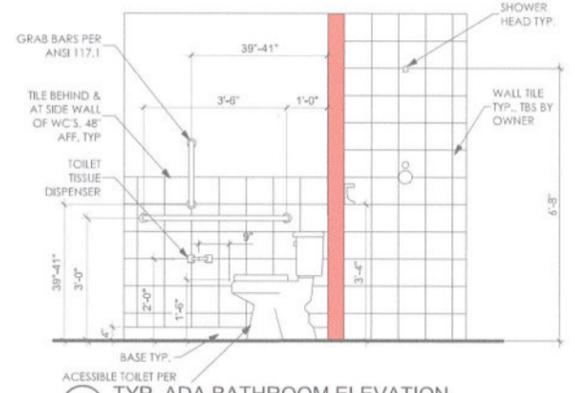
2 TYP. ADA BATHROOM ELEVATION
SCALE: 1/2" = 1'-0"



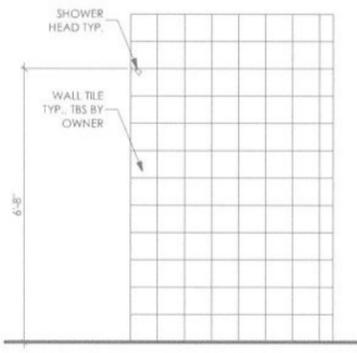
3 TYP. ADA BATHROOM ELEVATION
SCALE: 1/2" = 1'-0"



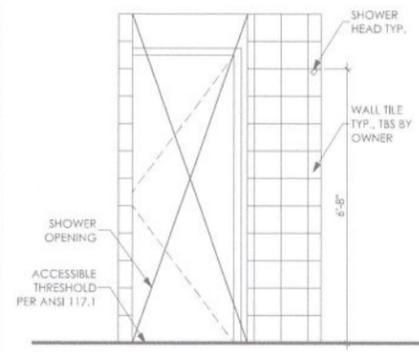
4 TYP. ADA BATHROOM ELEVATION
SCALE: 1/2" = 1'-0"



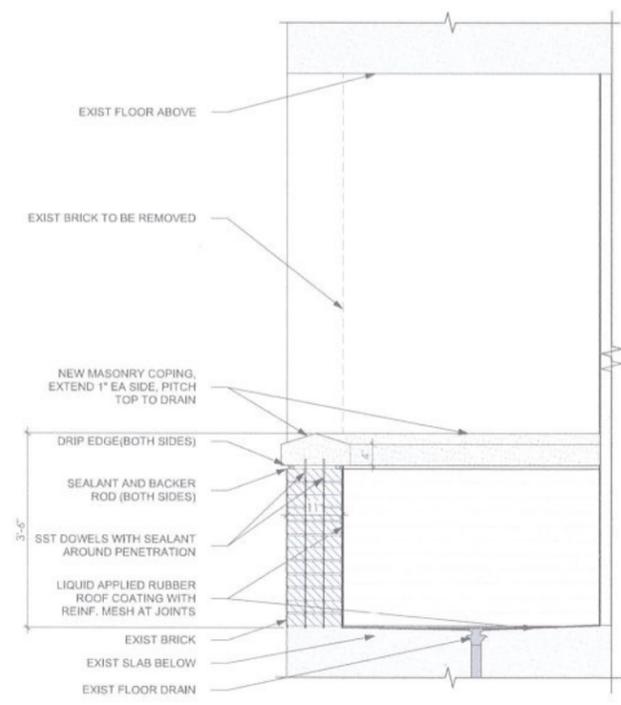
5 TYP. ADA BATHROOM ELEVATION
SCALE: 1/2" = 1'-0"



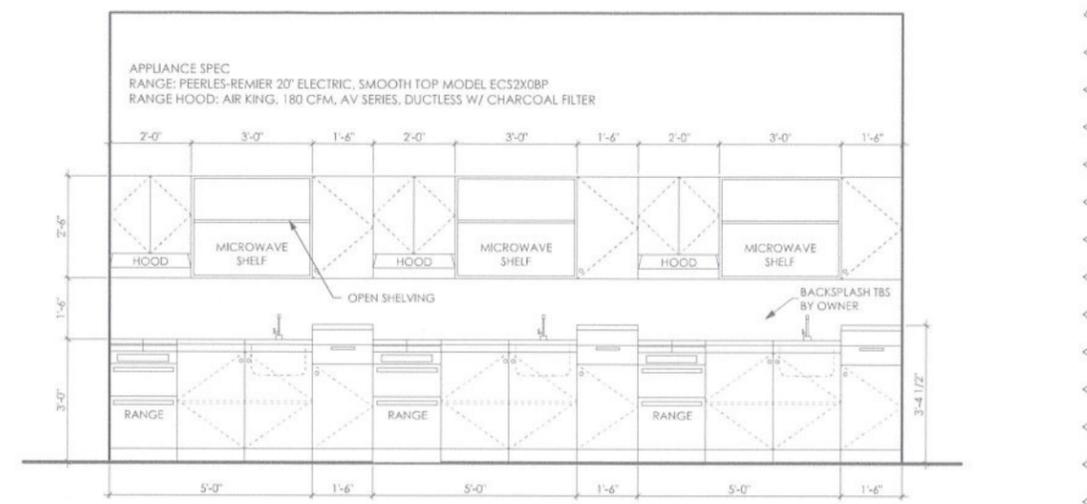
6 TYP. ADA BATHROOM ELEVATION
SCALE: 1/2" = 1'-0"



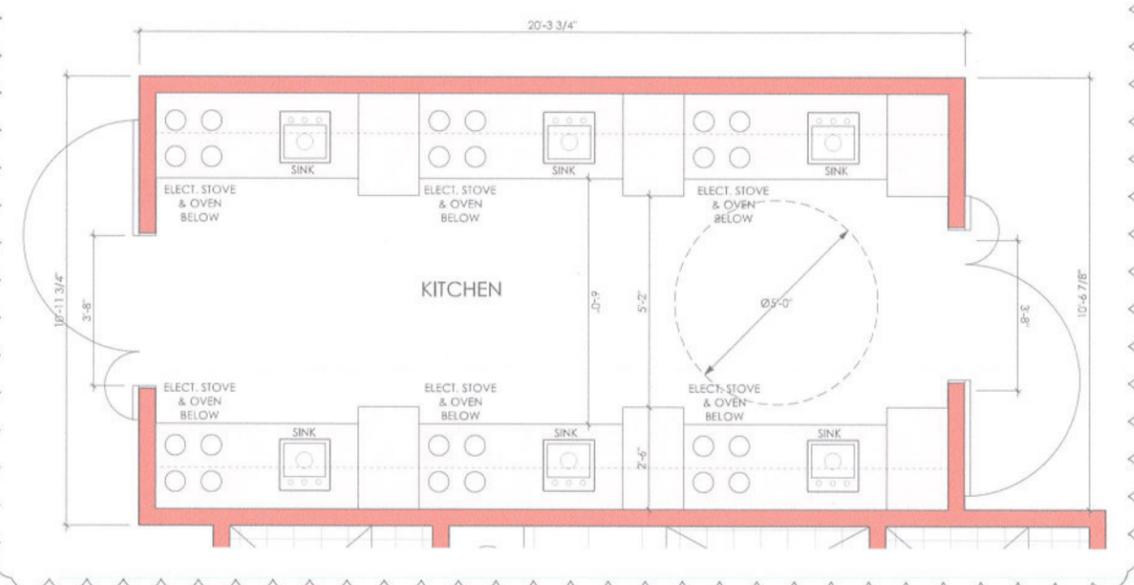
7 TYP. ADA BATHROOM ELEVATION
SCALE: 1/2" = 1'-0"



12 SECTION AT BALCONY
SCALE: 3/4" = 1'-0"



8 TYP. KITCHEN ELEVATION
SCALE: 1/2" = 1'-0"



2 ENLARGED TYPICAL KITCHEN PLAN
Scale: 1/2" = 1'-0"



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DATE: 10/03/2017
ISSUED FOR PERMIT
REVISIONS: 4/27/18 RESUBMIT / 3

INTERIOR & EXTERIOR ELEVATIONS & DETAILS

DRAWN BY: AMH
CHECKED BY: ANC

SCALE: AS NOTED
PROJECT NO.: 2017-16

A5.0
OF