

**SYRACUSE
LANDMARK
PRESERVATION
BOARD**

Certificate of Appropriateness Application

Case Number: CA-19-01

Submit by mail or by hand to:

Syracuse Landmark Preservation Board
City Hall Commons, Room 512
201 E. Washington Street
Syracuse, NY 13202

Electronic submissions to: SLPB@syrgov.net

APPLICATION

- I. Applicant's Name: Shawn & Charlene Patane
 Address: 104 Hampshire Rd
Syracuse NY 13203
 Phone: 315 345-6436 email: patanefamily@me.com
- II. Work is proposed for property at (address): 104 Hampshire Rd

This property is:

- individual Protected Site
 located within a Preservation District

III. This application is for the following (check as many as appropriate; complete only the parts indicated with each work item):

- Partial or complete demolition (Complete Part 1)
 Alteration to texture or material composition of building exterior (Complete Part 2)
 Alteration to texture or material composition of building interior (only if interior is designated a Protected Site; Complete Part 2)
 Change in color (Complete Part 3)
 Cleaning (Complete Part 3)
 Addition to existing building (Complete Part 4)
 New building construction (Complete Part 4)
 Alteration to site including excavation, change in land contours, installation of pavement for parking lots, driveways, or sidewalks (Complete Part 5)
 Deposit of refuse or waste material (Complete Part 5)
 Change in signage or advertising (Complete Part 6)

Applicant's Signature: [Signature] Date: 3/15/19
 Owner's Signature: [Signature] Date: 3/15/19

**Submission of this application or approval of a Certificate of Appropriateness does not relieve the applicant of his/her responsibilities in obtaining other permits and/or approvals as prescribed by law. The Syracuse Landmark Preservation Board uses the United States Secretary of the Interior's Standards as guidelines for review of proposals. A copy of these standards is available at the SLPB office or online at <http://www.nps.gov/hps/tps/standguide/>.*

Cleaning/Painting: Part 3 *N/A*

- 3-1 This application is for:
- Painting of building exterior
 - Cleaning of building exterior
 - Painting of building interior (only if interior is designated).
 - Cleaning of building interior (only if interior is designated).

3-2 The components to be painted and/or cleaned are made of: _____

3-3 The cleaning process that is being proposed is: _____

- 3-4 Do new colors match a previous color scheme?
- Yes
 - No

Please submit color chips of proposed colors if proposed colors are different from existing scheme.

Additional/New Construction: Part 4

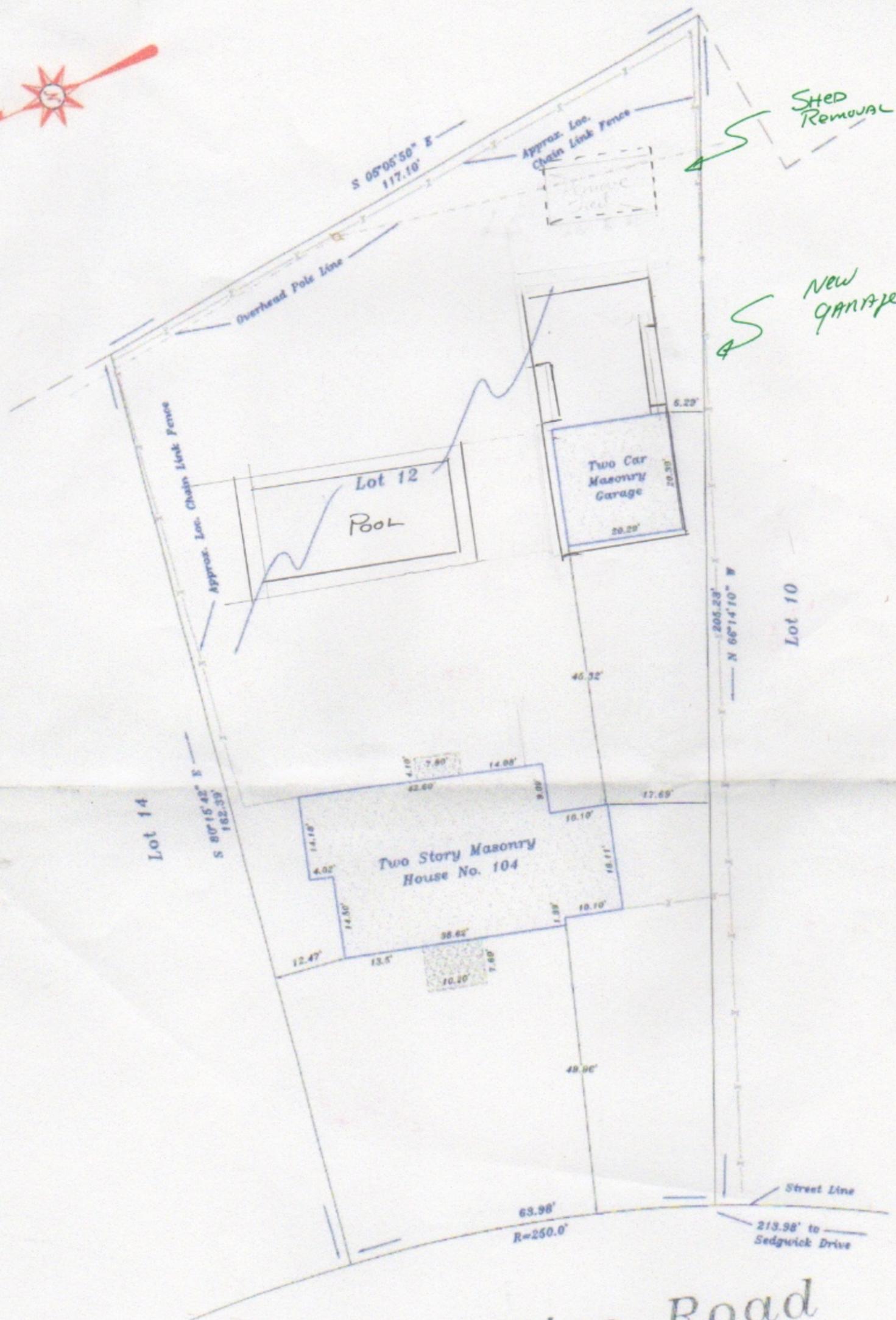
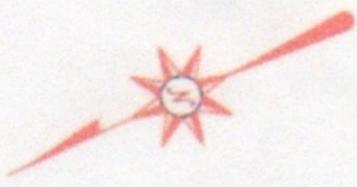
- 4-1 This application is for:
- Addition to existing structure
 - Construction of new building

- 4-2 Is proposed addition or new construction in public view from neighboring streets?
- Yes
 - No

4-3 What is the purpose of the proposed addition or new building? GARAGE

4-4 Describe how the new construction is compatible in scale, materials, and texture to the design of the existing structure and the character of surrounding buildings: _____
GARAGE has been designed to present itself to Hampshire Rd (The only Road it is visible from) in substantially similar fashion to the garage being replaced. Windows and doors selected to be of quality materials similar in scale to existing windows.

4-5 **Submit a site plan, elevation drawings and a materials list for the new construction.**



Hampshire Road

To: Kiley Law Firm, P.C.
 Monroe Title Insurance Corporation
 Shawn K. and Charlene A. Patane
 Devorsets, Stinziano, Gilberti, Heintz & Smith, P.C.
 GMAC Mortgage Corporation, its successors and/or assigns



I hereby certify that this map was made from an actual survey and same is correct
 Licensed Land Surveyor
R.J. Lighton Sr. NYSLS 45373
 886 E. Brighton Ave., Syracuse N.Y. 13205

Location survey on Lot #12, Block #6, Sedgwick Farm Tract.		
Known as No. 104 Hampshire Road, City of Syracuse, County of Onondaga and State of New York.		
Drawn by: RjL	Scale: 1"=20'	Date: 4-01-02
Revisions:		



Wendell Terrace

Wendell Terrace

Wendell Terrace

Wendell Terrace

Wendell Terrace

Hampshire Rd

Sedgwick Dr

Sedgwick Dr



Remove Shed

Existing Tree Canopy Retained

Proposed Garage

Remove Basketball

Shrink Pavement

Retain Gardens and Stone Wall / Steps

2015 INTERNATIONAL RESIDENTIAL CODE
RESIDENTIAL DESIGN CRITERIA

Building Planning and Construction
Design Criteria (Section R301)

Nominal Wind Speed - 89 mph (Table R301.2.1.3)
Component and Cladding Loads - Roof < 30 to 40 Degrees
Component Zone 1 - 100 sf effective wind area - 12.1 to -12.1 psf load
Component Zone 2 - 100 sf effective wind area - 12.1 to -14.6 psf load
Component Zone 3 - 100 sf effective wind area - 12.1 to -14.6 psf load

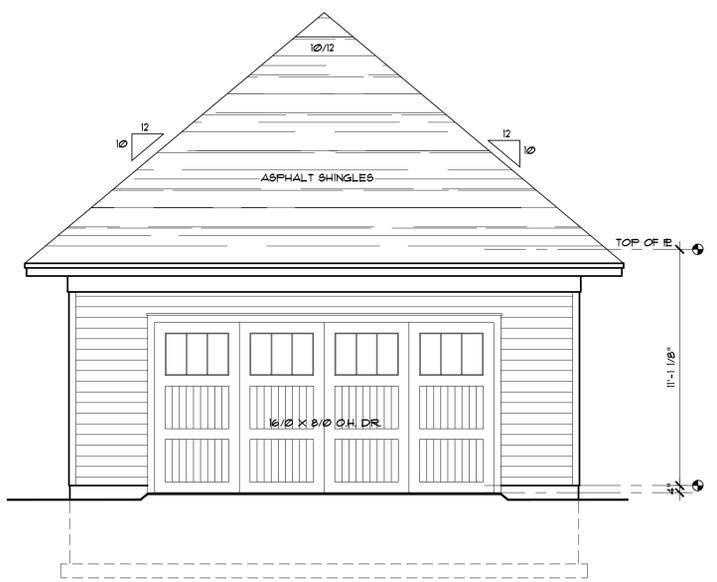
Weathering Probability for Concrete - Severe (Table R301.2(3))
Ground Snow Loads - 50 psf (Table R301.2(5))
Termite Infestation Probability - Slight to Moderate (Figure R301.2(6))
Decay Probability - None to Slight (Figure R301.2(7))
Site Classification - D
Seismic Design Categories - B (Figure R301.2(2))
S2 - 13.5 % g
S1 - 7.9 % g

There are no seismic design requirements for residential construction in category 'A' or 'B'
R301.2.2 - Detached one Family dwellings located in seismic design category C are exempt from the seismic requirements of this code.

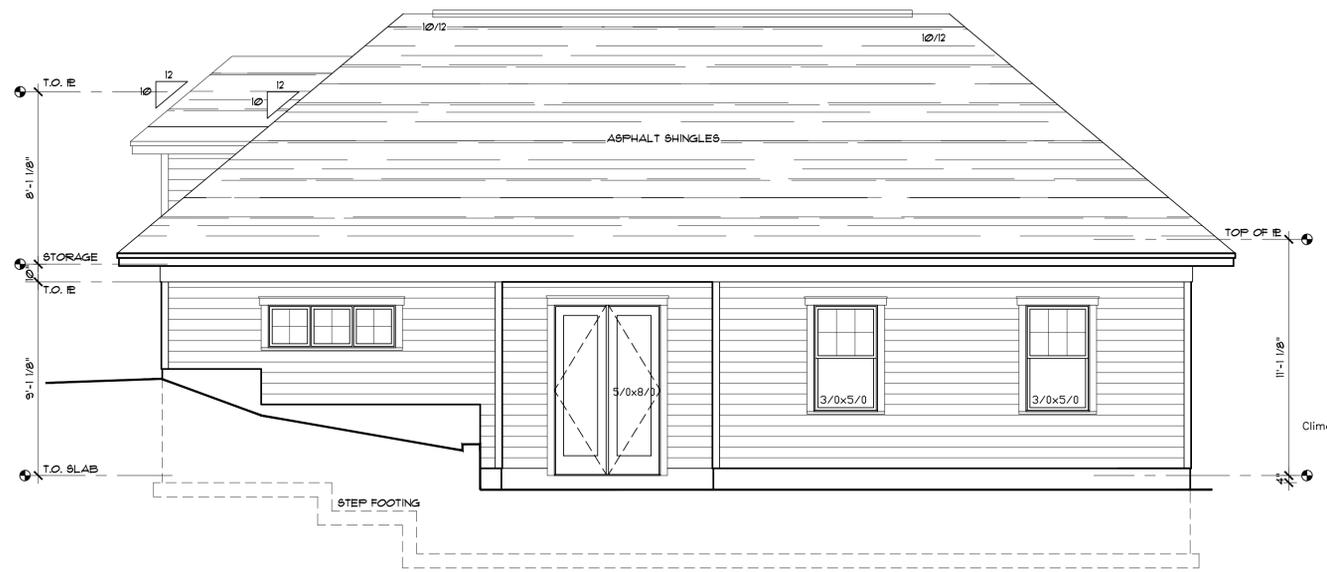
Minimum uniformly distributed live loads (Table R301.4)
Exterior Balconies - 60 psf
Decks - 40 psf
Garages - 50 psf (refer to code for elevated garage floors)
Attics (without storage) - 10 psf
Attics (with storage) - 20 psf
Rooms (other than sleeping rooms) - 40 psf
Sleeping Rooms - 30 psf
Stairs - 40 psf
Guardrails and handrails - 200 psf

Allowable deflection of structural members (Table R301.6)
Rafters (having slope greater than 3/12 with no finish ceiling) - L/180
Interior Walls and Partitions - H/180
Floors and plastered ceilings - L/360
All other structural members - L/240
Exterior walls with plaster or stucco finish - H/360
Exterior walls (wind loads with brittle finishes) - L/240
Exterior walls (wind loads with flexible finishes) - L/120

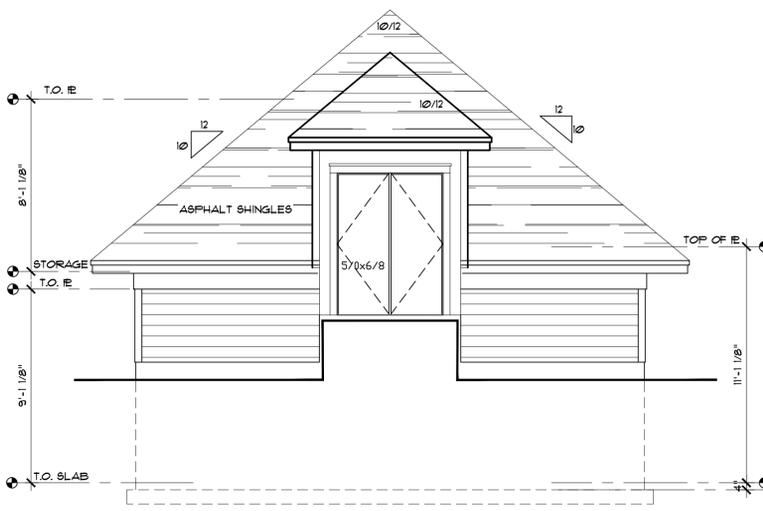
Climate Zone (per 2015 IECC Chapter 3) - Onondaga county - 5A



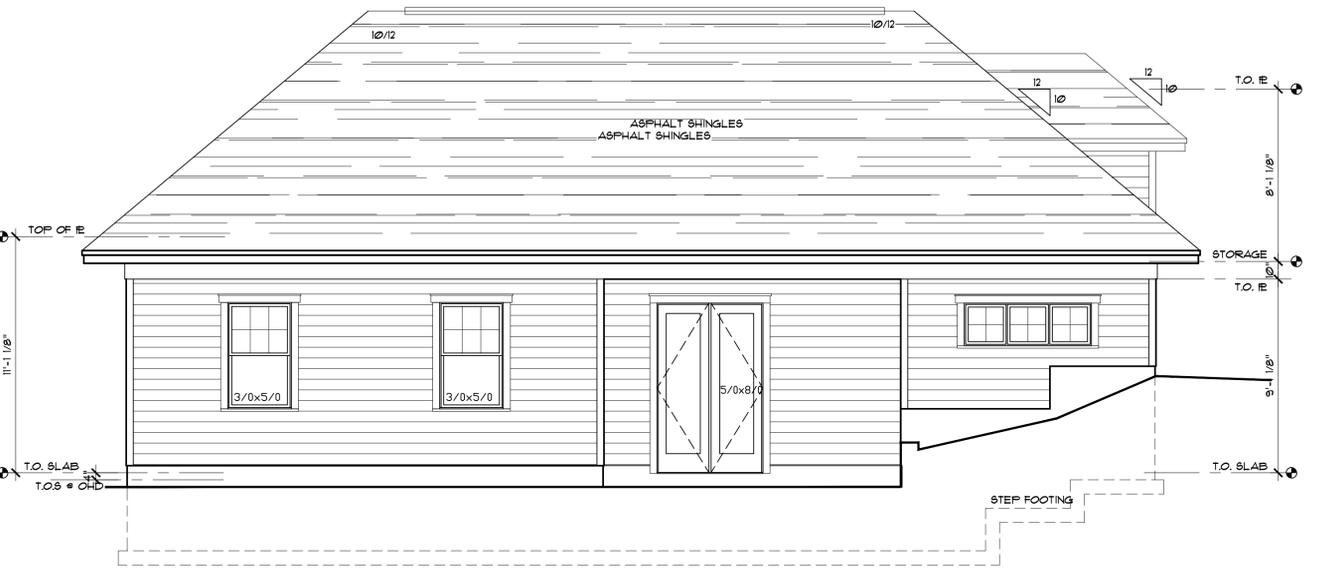
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

Patane Garage
104 Hampshire Road
Syracuse, NY 13208

PROJECT TITLE & LOCATION:

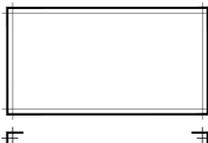
REVISIONS

DRAWING TITLE
Front & Rear Elevation

DRAWING INFORMATION	
Scale	1/4" = 1'-0"
Drawn	CDT
Checked	RV
Date	01-16-19
Job No.	19-006

DRAWING NUMBER
A1

PROGRESS SET - ISSUED 03-12-19
NOT FOR CONSTRUCTION



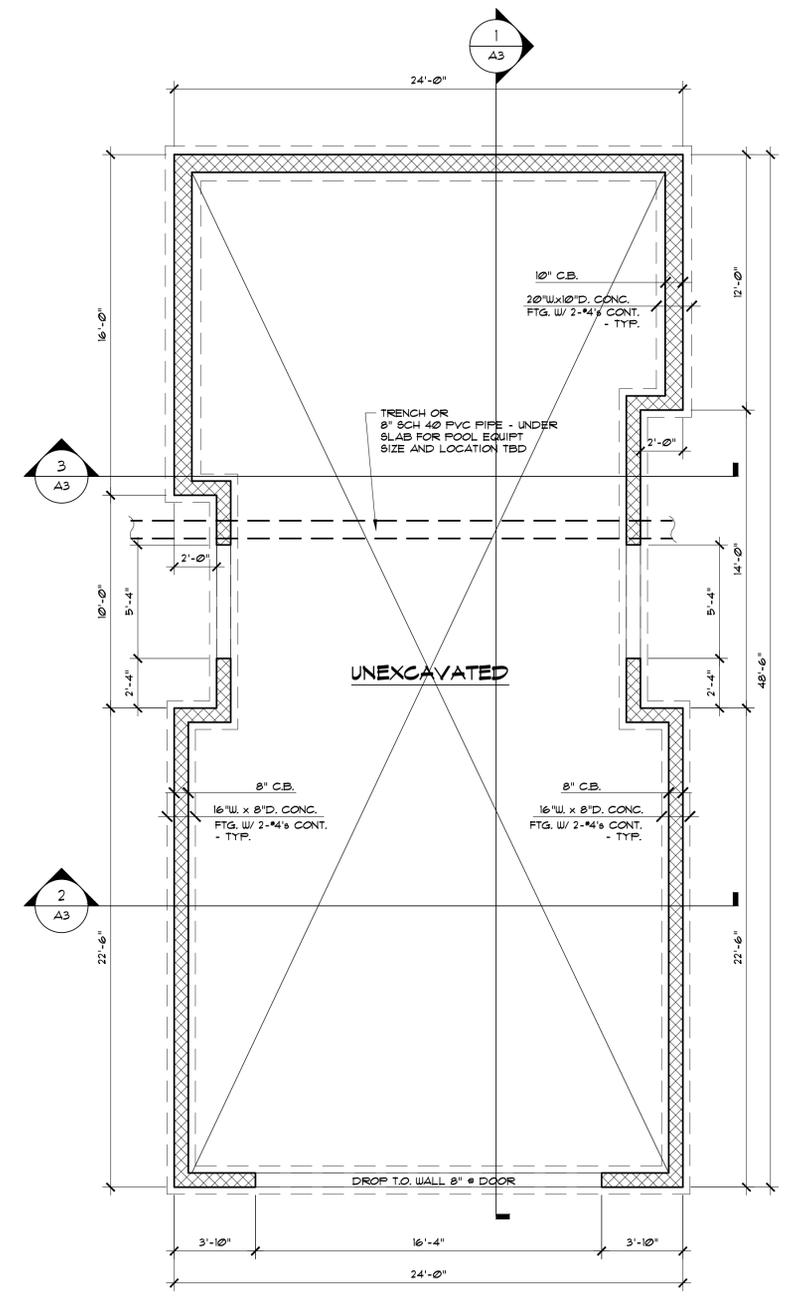
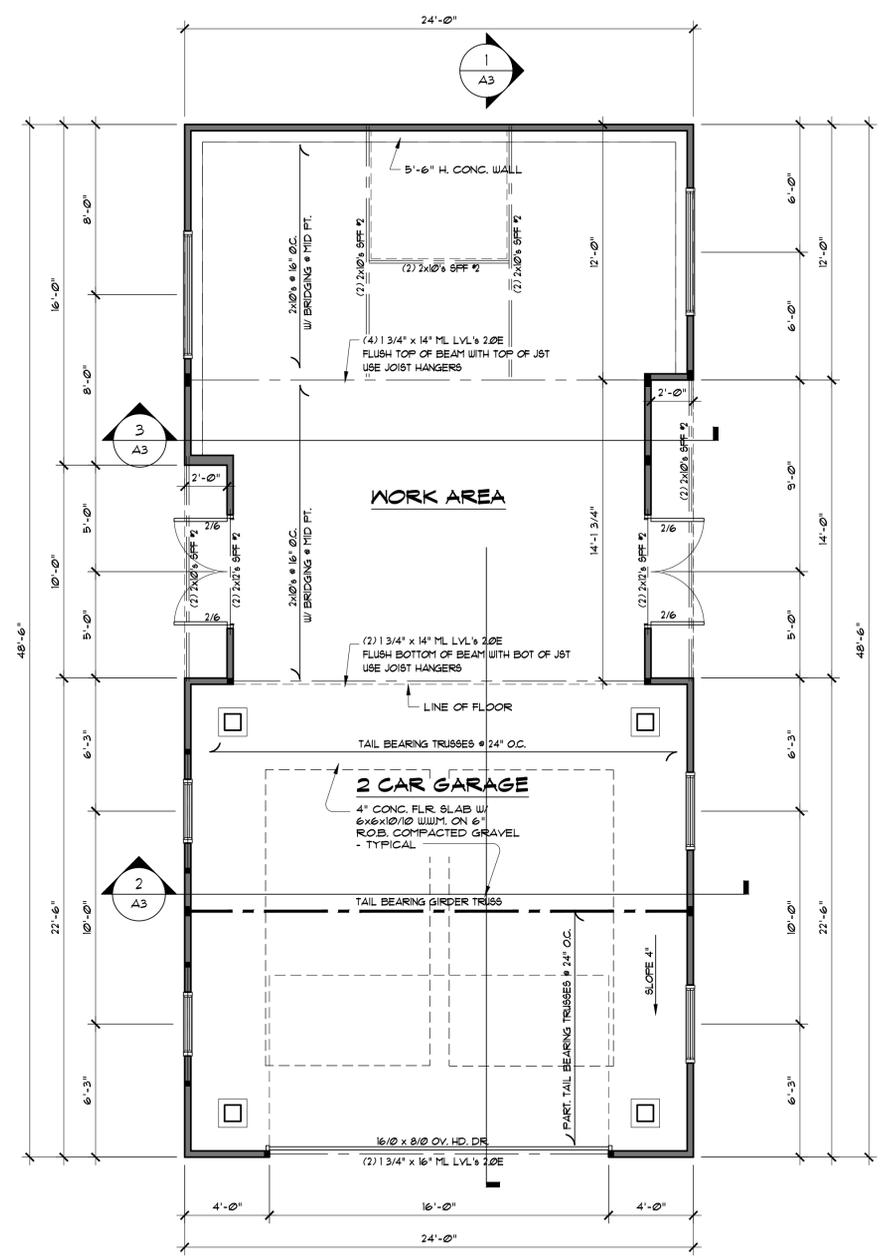
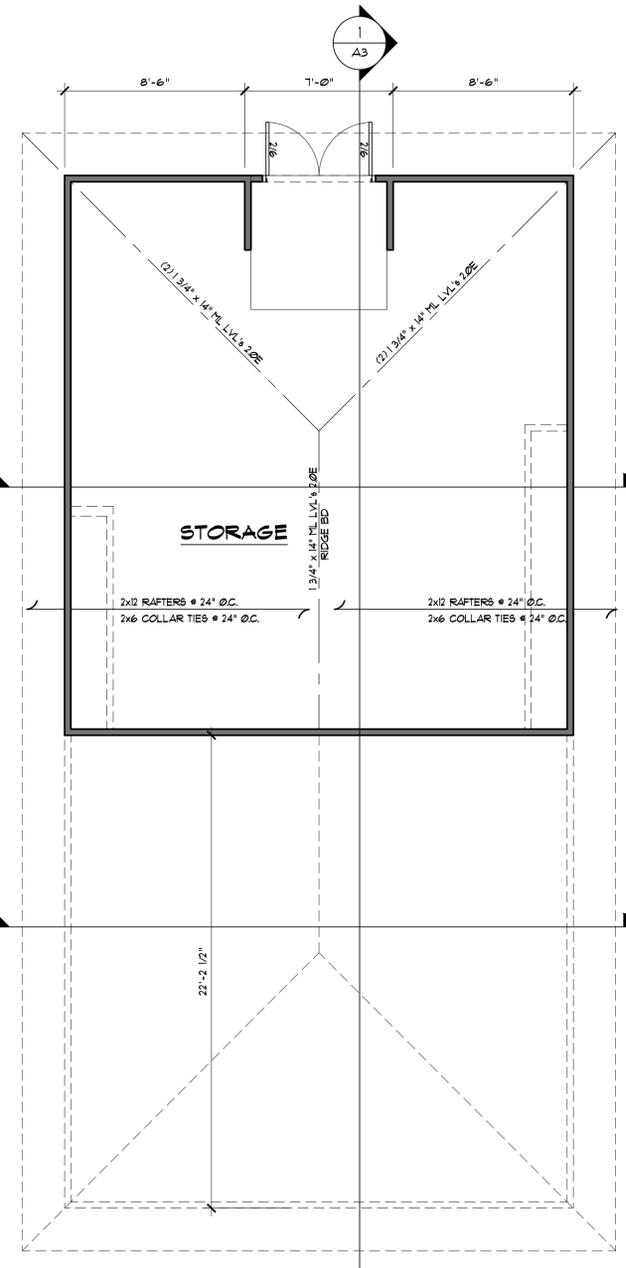
REVISIONS

DRAWING TITLE
First & Second Floor Plan

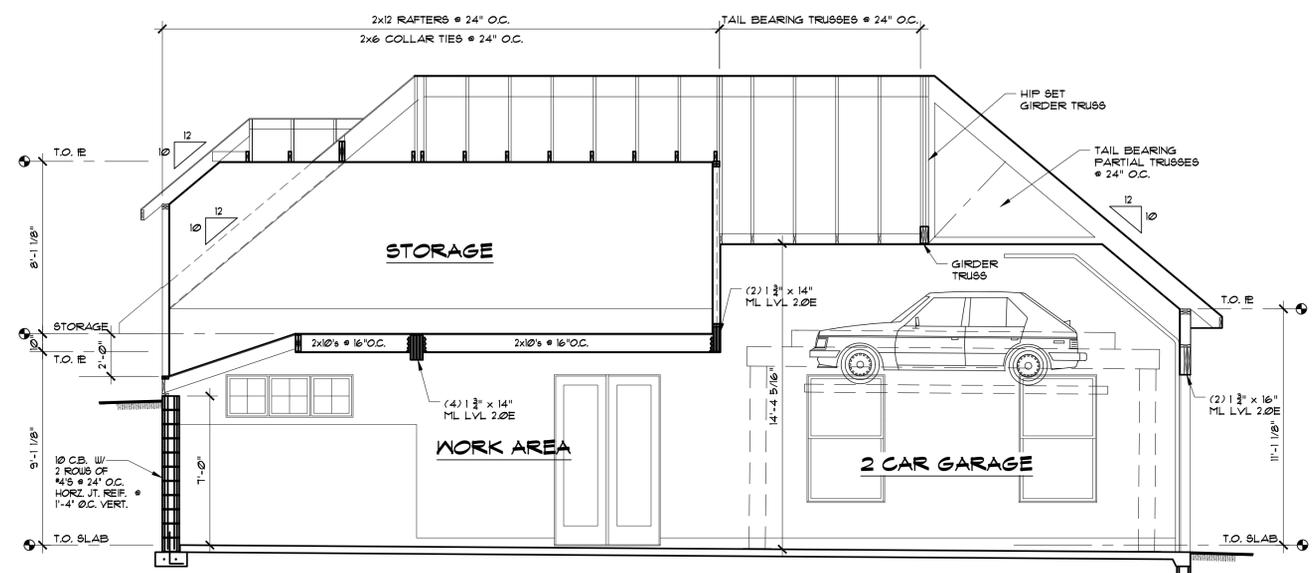
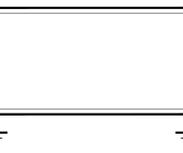
DRAWING INFORMATION	
Scale	1/4" = 1'-0"
Drawn	CDT
Checked	RV
Date	01-16-19
Job No.	19-006

DRAWING NUMBER
A2

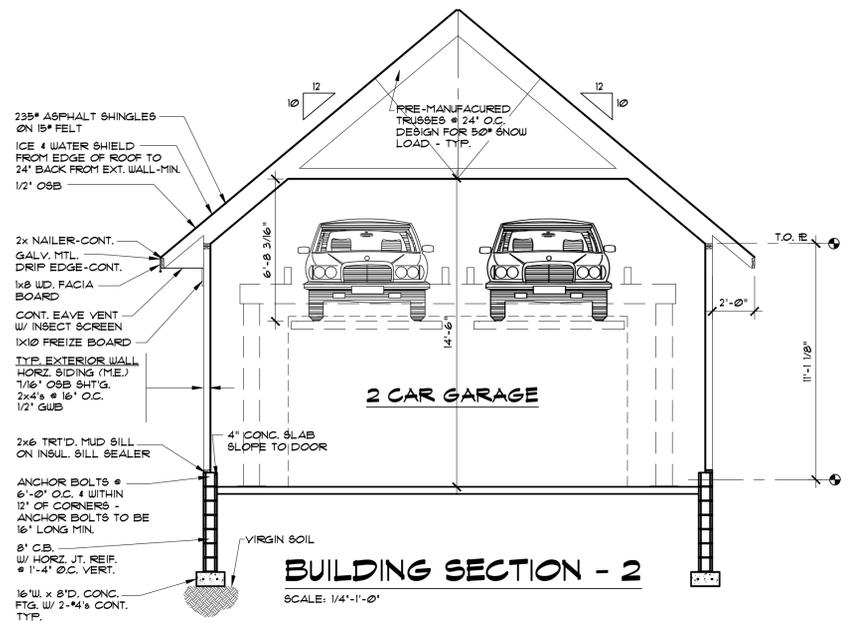
PROGRESS SET - ISSUED 03-12-19
NOT FOR CONSTRUCTION



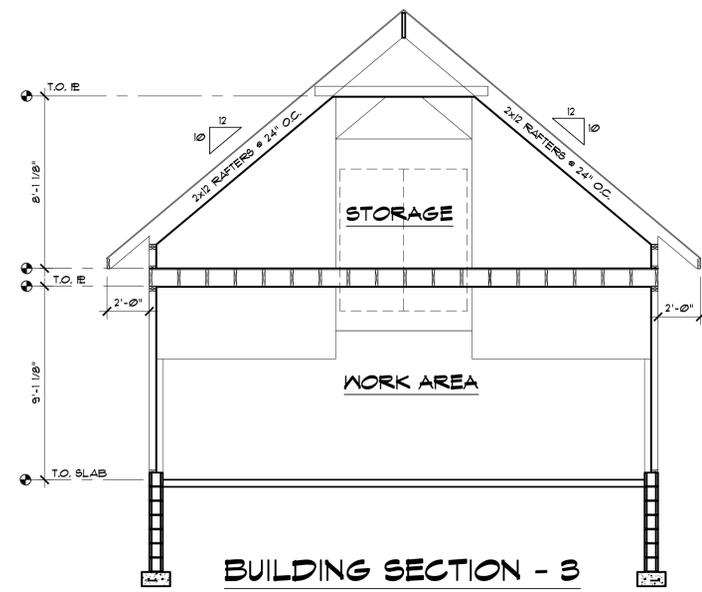
- FOUNDATION NOTES**
- Footings are to bear on undisturbed level soil devoid of any organic material and stepped as required to maintain depth of 48" below the final grade.
 - Soil bearing pressure assumed to be 2000 PSF.
 - Any fill under grade supported slabs to be a minimum of 4" thick granular material compacted to 90%.
 - Concrete slabs to have control joints at 16' (maximum) intervals each way. Provide 6 mil poly under slabs on grade.
 - All wood in contact with concrete to be pressure treated.
 - Beam pockets in foundation walls to have 1/2" of air space at sides and ends with a minimum bearing of 4". Fill block solid full ht. UNDER beam bearing.
 - Foundation walls shall be provided with dampproofing or waterproofing material. Dampproofing used where hydrostatic pressure will not occur and waterproofing where hydrostatic pressure may exist. The type system/material used shall be determined by site conditions.
 - Foundation walls shall be structurally braced as required until floor framing system is complete.
 - Backfill against foundation wall shall be a well drainable type soil, if site soil conditions are not suitable for backfill. Fill conforming to NYSDOT specifications Item #304.2.02 type 4 shall be used. Backfill material shall be placed in several lifts.
 - Run outside perimeter drain to Daylight. Provide stone riprap @ out fall of pipe. IF grade will not permit daylighting of pipe see "alternate drainage Detail".
 - Minimum Specified compressive strength of Concrete:
Basement walls, Foundations, and concrete not exposed to weather 2500 psi Concrete.
Basement Slabs and interior slabs on grade except garage floor slabs 2500 psi Concrete.
Basement walls, Foundations, and vertical concrete exposed to weather 3000 psi Concrete.
Porches, carport slabs and steps exposed to weather and garage floor slabs 3500 psi Concrete.



BUILDING SECTION - 1
SCALE: 1/4"=1'-0"



BUILDING SECTION - 2
SCALE: 1/4"=1'-0"



BUILDING SECTION - 3
SCALE: 1/4"=1'-0"

- GENERAL NOTES:**
- All work is to comply with the 2015 International Residential Code and any applicable state, county or local codes. CODES GOVERN OVER DRAWINGS.
 - The contractor is responsible to check plans and is to notify the architect of any errors or omissions prior to the start of construction.
 - Written dimensions have precedence over scaled dimensions. **DO NOT SCALE THE DRAWINGS.**
 - Insulation to meet the 2015 International Energy Efficiency Code. All exposed insulation is to have a flame spread rating of 25 or less and a smoke-developed index not to exceed 450 in accordance to ASTM E 84. Provide insulation baffles at eave between rafters.
 - All exterior joints, Seams, or penetrations in building envelopes that are sources of air leakage shall be sealed with a durable sealant material per section 502.1.4.2 "Caulking and sealants" of the 2015 International Energy Efficiency Code
 - Structural steel shall be ASTM A-36.
 - All Structural wood shall bear the mark of the grading rules agency having jurisdiction (following framing lumber guidelines).
 - 2015 International Residential Code, table R602.3 (1) fastener schedule for structural material shall be followed.
 - All exterior finishes, siding and brick or stone veneer shall follow Section R703 Exterior Covering of the N.Y.S. Residential Building Code.
 - Wood trusses shall be certified by the manufacturer to have the capacity to support live and dead loads specified by applicable codes.
 - All bearing wall openings to have headers:
 - Typ Header @ 2x6 wall 3-2x10's (up to 6'-0") (unless specified otherwise)
 - Typ Header @ 2x4 wall 2-2x10's (up to 6'-0") (unless specified otherwise)
 - glue & nail all header assemblies - typ.
 - Joists that are attached to flush beams are to be hung with joist hangers or equivalent.
 - Provide double joists under all parallel partitions.
 - Provide fireblocking draftstops & firestops per 2015 International Residential Code Section R602.8
 - All beams & headers (over 6'-0" span) in bearing walls to have double stud bearing unless noted otherwise.
 - All bearing to be continued to foundation or footing and have a minimum size equal to beam thickness.
 - Interior stud walls - 2x4's @ 24" o.c. except where noted or at bearing walls, where spacing is 16" o.c..
 - Baths & Kitchens to have 1/2" water resistant GWB on all surfaces adjacent to fixtures.
 - All wood decking & deck framing to be pressure treated.
 - Ground fault interrupter outlets - typical @ all baths, laundry, garage, exterior outlets and within 6'-0" of all sinks.
 - Framing calculations are based on Spruce Pine Fir #2 (Kiln Dried) or better. Minimum Fb 775 for all beams and headers -typ.
 - In addition to the primary exit from each habitable space there shall be provided in each such space at least one opening for emergency use (door or window). Such opening shall have a minimum of 5.7 square feet with a minimum Height dimension of 24" and a width of 20", with bottom of opening no higher than 44" above finished floor.
 - All glazing in an individual fixed or operable panel, with exposed area of an individual pane larger than 9 square feet, whose bottom edge less than 18 inches above the floor, and top edge more than 36 inches above the floor, with one or more walking surfaces within 36 inches (914 mm) horizontally of the glazing, are to have tempered glazing.
 - Skylights are to be glazed with tempered glass on the outside and laminated glass on the inside (unless Plexiglas). Glass to have maximum clear span of 25". When installed on roofs of less than 3/12 pitch the Skylight frame is to be attached to a 2 x curb with a minimum of 4" above roof plane.
 - All tub or shower enclosures when glazed are to be glazed with safety glazing. All windows in building walls having a bottom edge of less than 60" above finish floor and enclosing a tub or shower are to have safety glazing.
 - All exterior window and door assemblies shall comply with the Maximum Allowable Infiltration Rate in table 502.1.4.1 of the 2015 International Energy Efficiency Code.
 - Windows - CFM per S.F. of window area - 0.3 cfm max.
 - Door - CFM per S.F. of door area - 0.5 cfm max. (Slider) - 0.3 cfm max.
 - Connect all smoke detectors (see plan for location) to house electrical system and interconnect so when any one is tripped they will all sound. All smoke detectors shall have battery backup.
 - Provide combustion air vents (w/ screen and back damper) for fireplaces, wood stoves and any appliances with an open flame.
 - Bathrooms and Range Hoods are to be vented Per the NYS Residential code sections R303.3 and M1502.
 - Garage separation partition that has a 1/2 HR Rating, One layer of 1/2" GWB may be installed on the garage side and One layer of 1/2" GWB may be installed on the opposite side. Application must comply with section R702.3 of the 2015 International Residential Code .
 - Ice protection - An ice barrier consisting of two layers of underlayment cemented together or a self-adhering polymer modified bitumen sheet, in lieu of normal underlayment and extend from the eaves edge to a point at least 24 inches inside the exterior wall line of the building.
 - Wall panels on either side of garage doors that do not comply with Table R602.10.5 must comply with APA's narrow wall bracing method. Provide metal straps, nailing and bolts as detailed in Figure 1 "Construction Details for the APA-narrow wall bracing method without hold-downs over concrete masonry block foundations" and have a maximum 6:1 portal frame ratio.
 - Slope grade away from building minimum 6" in first 10' from building, comply with R401 of the 2015 International Residential Code
 - Windows shall have a minimum U value of .32 in Climate Zones 5 and 6 and shall bear a manufacturer's energy efficiency label for inspection.

Patane Garage
104 Hampshire Road
Syracuse, NY 13208

PROJECT TITLE & LOCATION:

REVISIONS

DRAWING TITLE
Building Sections

DRAWING INFORMATION	
Scale	1/4" = 1'-0"
Drawn	CDT
Checked	RV
Date	01-16-19
Job No.	19-006

DRAWING NUMBER
A3

Auwaerter, Kate

From: Shawn Patane <skpatane@me.com>
Sent: Friday, March 15, 2019 2:58 PM
To: Auwaerter, Kate
Subject: Double Hung INTEGRITY

I made a goof on the window image...

It's a Marvin Integrity Double Hung window, I got that right. The image for the just did not have the correct number of dividers in case anyone is counting for the 3 by windows.. the will match the house in size.



Shawn





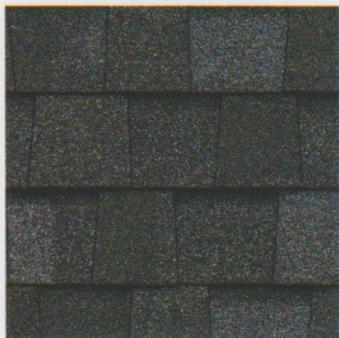
LANDMARK[®] PRO

The Expert's Choice

Shown in Max Def Driftwood

CertainTeed
SAINT-GOBAIN

LANDMARK® PRO COLOR PALETTE



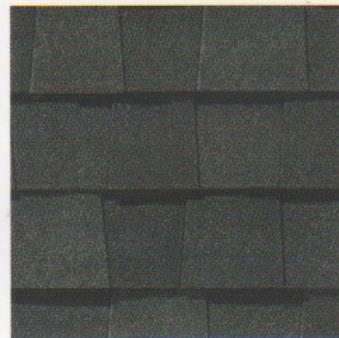
Max Def Atlantic Blue



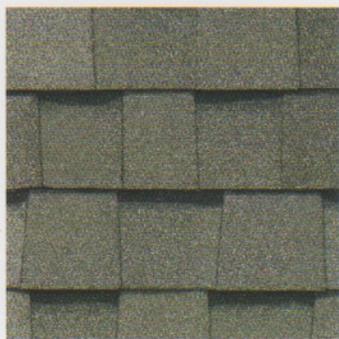
Max Def Birchwood



Max Def Burnt Sienna



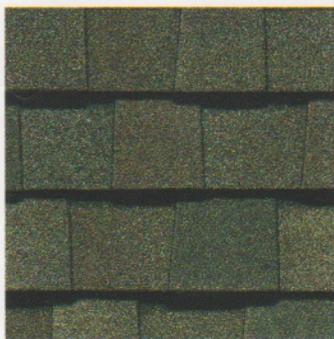
Max Def Charcoal Black



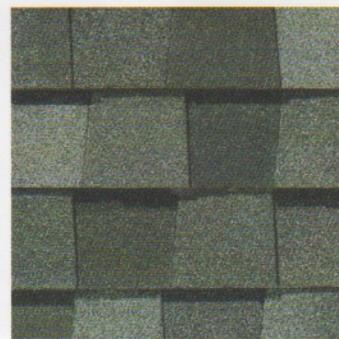
Max Def Cobblestone Gray



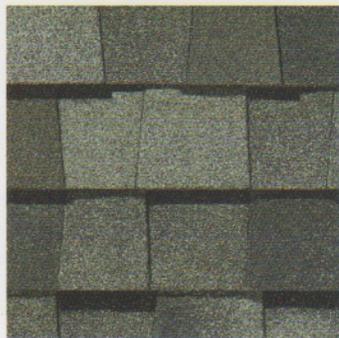
Max Def Colonial Slate



Max Def Driftwood



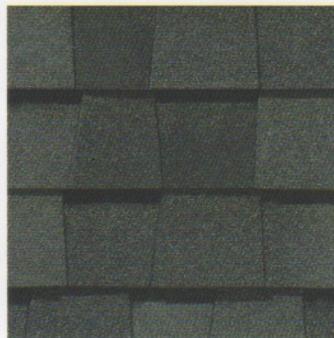
Max Def Georgetown Gray



Max Def Granite Gray



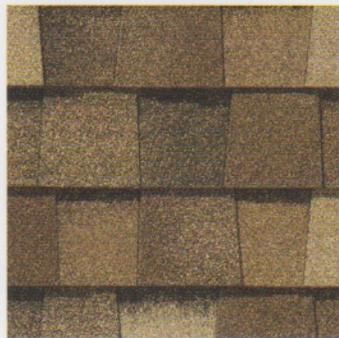
Max Def Heather Blend



Max Def Moiré Black



Max Def Pewterwood



Max Def Resawn Shake



Max Def Weathered Wood



Max Def Hunter Green



Silver Birch

Max Def Colors

Look deeper. With Max Def, a new dimension is added to shingles with a richer mixture of surface granules. You get a brighter, more vibrant, more dramatic appearance and depth of color. And the natural beauty of your roof shines through.

Landmark Pro Silver Birch is an ENERGY STAR® rated product and may qualify for a federal tax credit.